

Cultural Heritage Impact Assessment

College Street School, 132 College Street, Part of Lot 7 Concession 9, Township of Grimsby, Lincoln County, now Township of West Lincoln, Niagara Region, Ontario.

Project # OCUL2202

Prepared for:

*2853972 Ontario Ltd c/o Phelps Homes Ltd
166 Main Street West, Grimsby, ON, L3M 1S3*

wood.

Cultural Heritage Impact Assessment

College Street School, 132 College Street, Part of Lot 7 Concession 9, Township of Grimsby, Lincoln County, now Township of West Lincoln, Niagara Region, Ontario

Project: OCUL2202

Prepared for:

2853972 Ontario Ltd c/o Phelps Homes Ltd
166 Main Street West, Grimsby, ON, L3M 1S3

Prepared by:

Wood Environment & Infrastructure Solutions Canada Limited
3450 Harvester Road
Burlington, ON, L7N 3W5
T: 905-335-2353

16-Jun-22

Copyright and non-disclosure notice

The contents and layout of this report are subject to copyright owned by Wood (Wood Group). save to the extent that copyright has been legally assigned by us to another party or is used by Wood under license. To the extent that we own the copyright in this report, it may not be copied or used without our prior written agreement for any purpose other than the purpose indicated in this report. The methodology (if any) contained in this report is provided to you in confidence and must not be disclosed or copied to third parties without the prior written agreement of Wood. Disclosure of that information may constitute an actionable breach of confidence or may otherwise prejudice our commercial interests. Any third party who obtains access to this report by any means will, in any event, be subject to the Third Party Disclaimer set out below.

Third-party disclaimer

Any disclosure of this report to a third party is subject to this disclaimer. The report was prepared by Wood at the instruction of, and for use by, our client named on the front of the report. It does not in any way constitute advice to any third party who is able to access it by any means. Wood excludes to the fullest extent lawfully permitted all liability whatsoever for any loss or damage howsoever arising from reliance on the contents of this report. We do not however exclude our liability (if any) for personal injury or death resulting from our negligence, for fraud or any other matter in relation to which we cannot legally exclude liability.

Executive Summary

Wood Environment & Infrastructure Solutions Canada Limited (Wood) was retained by 2853972 Ontario Ltd on behalf of Phelps Homes Ltd. (the Client) to complete a Cultural Heritage Impact Assessment (CHIA) for 132 College Street in the community of Smithville, Township of West Lincoln, Niagara Region, Ontario (Study Area). The 1.81-hectare Study Area includes a two-storey schoolhouse known as the 'College Street Public School' that was constructed between 1885 and 1887 and subsequently altered through large additions built in 1921/1924, 1959, 1967, 1969 and 1972.

The Client intends to develop the Study Area with 138 mixed-use units. Although the property is not listed or designated under the *Ontario Heritage Act*, the Township of West Lincoln has required that a CHIA be prepared as a condition of site plan approval.

The preparation of this CHIA was guided by the Ministry of Heritage, Sport, Tourism and Cultural Industries' (MHSTCI) InfoSheet #5 of the *Ontario Heritage Tool Kit*, the MHSTCI's *Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities* (2006), the *Standards & Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification and Evaluation Process* (MHSTCI 2014), and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010).

The heritage evaluation determined that the Study Area has cultural heritage value or interest (CHVI) under *Ontario Regulation 9/06* (O. Reg. 9/06) of the *Ontario Heritage Act* for its historical or associative value. This CHIA also concluded that the heritage integrity of the original schoolhouse was severely compromised through multiple additions between 1921 and 1972. Consequently, the Study Area does not retain physical or design or contextual value and the conservation of its heritage attributes can be achieved through a commemoration and salvage conservation approach.

Based on these conclusions, Wood makes the following recommendations:

- a. Documentation and/or salvaging of the following materials for donation or as a commemorative features within the new development or for display in a local museum/archive:
 - i. Building components that date to the 1885/1887 or 1921/1924 sections of the school:
 - Interior Moulded wood window trim in the 1885/1887 first and second floor classrooms
 - Wood frame windows with moulded surrounds on the third floor
 - Oval window with four lights located on the front façade (west elevation) of the 1885/1887 roof
 - Railings with wood handrails and metal box newel posts/balustrades in stair 001/132/201
 - Red fire door with manufacturers stamp in the 1885/1887 section of the basement
 - Bricks with etched student graffiti in the storage rooms of the 1921/1924 section of the basement
 - ii. Moveable material culture that speaks to the school's history including:
 - School crest in gymnasium

- Wood lectern with school crest in the gymnasium
 - Wood mail cubby in the staff room
 - Slate chalkboards throughout the school
 - Commemorative plaques on the first floor
 - Framed qualities in reference to the schools 'Simpson Junior Sportsmanship Trophy'
 - School banners
 - 'Great Things Are Happening At College St.' sign in the foyer
 - Intercom system
- b. Potential inclusion and development of commemorative plaques or place naming strategies.

Table of Contents

1.0	Introduction	1
1.1	Description and Location of Property	1
1.2	Objectives and Tasks	1
2.0	Methodology	3
2.1	Regulatory Requirements	3
2.1.1	Provincial Policy Statement	3
2.1.2	Ontario Heritage Act	3
2.1.3	Township of West Lincoln Official Plan	4
2.1.4	Niagara Region Official Plan	4
2.2	Guidance Documents	5
2.3	Background Research	5
2.4	Community Consultation	5
2.5	Field Review	5
2.6	Cultural Heritage Evaluation	6
2.7	Impact Assessment	6
2.8	Mitigation Measures	6
3.0	Historical Context	8
3.1	Physiography	8
3.2	Indigenous Land Use	8
3.3	Township Survey and Settlement	9
3.3.1	Lincoln County	9
3.3.2	Grimsby Township	9
3.3.3	Smithville	10
3.4	Review of Historical Mapping and Aerials	12
3.5	Property History	14
3.5.1	Land Registry Data	14
3.5.2	College Street Public School	15

3.5.3	Summary of Property History	16
4.0	Existing Conditions	21
4.1	Information Gathering	21
4.2	Field Review Results	21
4.2.1	Location Context	21
4.2.2	Landscape Context	27
4.2.3	College Street Public School (Building Exterior).....	32
4.2.4	College Street Public School (Building Interior)	44
4.2.5	Analysis of Physical Conditions and Heritage Integrity	54
5.0	Evaluation of Cultural Heritage Value or Interest	60
5.1	Ontario Regulation 9/06	60
5.2	Evaluation of the Study Area.....	60
5.2.1	Design Value or Physical Value.....	60
5.2.2	Historical Value or Associative Value	61
5.2.3	Contextual Value	61
5.2.4	Summary	62
5.3	Statement of Cultural Heritage Value or Interest	63
5.3.1	Description of the Property	63
5.3.2	Statement of Cultural Heritage Value or Interest	63
5.3.3	Heritage Attributes	63
6.0	Impact Assessment.....	64
6.1	Description of the Proposed Work.....	64
6.2	Assessment of Potential Impacts.....	64
7.1	Option 1: Do Nothing.....	67
7.2	Option 2: Rehabilitation.....	67
7.3	Option 3: Relocation	68
7.4	Option 4: Salvage & Commemoration.....	69
8.0	Recommendations	70

9.0	Assessor Qualifications	71
10.0	Closure.....	72
11.0	Sources	74

LIST OF TABLES

Table 1: Review of 18th and 19th Century Historical Mapping and Aerials	13
Table 2: Land Registry Data for Part of Lot 7, Concession 9, Grimsby Township, Lincoln County	14
Table 3: Analysis of Physical Conditions.....	54
Table 4: Analysis of Heritage Integrity	57
Table 5: Evaluation of Cultural Heritage Value or Interest of 132 College Street.....	60
Table 6: Assessment of Impacts.....	65

LIST OF FIGURES

Figure 1: Location of the Study Area	1
Figure 2: Aerial Photograph Showing Location of the Study Area.....	2
Figure 3: 1862 Tremaine's map of the Counties of Lincoln and Welland Showing the Location of the Study Area.....	17
Figure 4: 1876 Illustrated historical atlas of the Counties of Lincoln and Welland, Ontario Showing the Location of the Study Area	18
Figure 5: 1876 Illustrated historical atlas of the County of Lincoln: Town of Smithville Showing the Location of the Study Area	19
Figure 6: Historic Topographic Maps Showing the Location of the Study Area	20
Figure 7: Existing Conditions at 132 College Street.....	26

LIST OF APPENDICES

Appendix A: Aerial Photographs
Appendix B: Abstract Parcel Register Book
Appendix C: DSBN College Street Property Information Package
Appendix D: Interior Photos
Appendix D: Conceptual Proposed Work Drawings
Appendix E: Assessor Qualifications
Appendix F: Limitations

Project Personnel

Project Manager:	Heidy Schopf, MES, CAHP
Cultural Heritage Specialist:	Chelsea Dickinson, BA
Report Preparation:	Chelsea Dickinson, BA
Graphics:	Stephen LaBute
Report Reviewer:	Heidy Schopf, MES, CAHP Henry Cary, PhD, CAHP, RPA

Acknowledgements

Acting Team Lead, Heritage, Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI)	Karla Barboza MCIP, RPP, CAHP
Planner II, West Lincoln	Gerrit Boerema

Abbreviations

CHRA	Cultural Heritage Resource Assessment
CHER	Cultural Heritage Evaluation Report
CHSR	Cultural Heritage Screening Report
CHVI	Cultural Heritage Value or Interest
CHIA	Cultural Heritage Impact Assessment
MHSTCI	Ministry of Heritage, Sport, Tourism and Culture Industries
OHA	Ontario Heritage Act
PHP	Provincial Heritage Property
PPS	Provincial Policy Statement
SCHV	Statement of Cultural Heritage Value

Glossary

Adjacent lands	Those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (Government of Ontario 2020).
Built Heritage Resource:	Means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the <i>Ontario Heritage Act</i> , or that may be included on local, provincial, federal and/or international registers (Government of Ontario 2020).
Conserved:	Means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (Government of Ontario 2020).

Glossary

Cultural Heritage Landscape:	Means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the <i>Ontario Heritage Act</i> , or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (Government of Ontario 2020).
Heritage Attributes:	Means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property) (Government of Ontario 2020).
Protected Heritage Property:	Means property designated under Parts IV, V or VI of the <i>Ontario Heritage Act</i> ; property subject to a heritage conservation easement under Parts II or IV of the <i>Ontario Heritage Act</i> ; property identified by the Province and prescribed public bodies as provincial heritage property under the <i>Standards and Guidelines for Conservation of Provincial Heritage Properties</i> ; property protected under federal legislation, and UNESCO World Heritage Sites (Government of Ontario 2020).
Significant:	In regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the <i>Ontario Heritage Act</i> (Government of Ontario 2020).

1.0 Introduction

1.1 Description and Location of Property

Wood Environment & Infrastructure Solutions Canada Limited (Wood) was retained by 2853972 Ontario Ltd on behalf of Phelps Homes Ltd. (the Client) to complete a Cultural Heritage Impact Assessment (CHIA) for 132 College Street in the community of Smithville, Township of West Lincoln, Niagara Region, Ontario (Study Area) (Figure 1 and Figure 2). The L-shaped, 1.81-hectare (4.4 acre) Study Area is bounded by Morgan Street on the north, residential properties on the east and south, and College Street on the west. The Study Area includes a two-storey schoolhouse known as the 'College Street Public School' that was constructed between 1885 and 1887 and subsequently altered through large additions built in 1921/1924, 1959, 1967, 1969 and 1972.

The Client intends to develop the Study Area with 138 mixed-use units, including 12 townhouses fronting on Morgan Avenue, six live/work units fronting on College Street, and 120 stacked townhouses in the interior of the lot. Although the property is not listed or designated under the *Ontario Heritage Act*, the Township of West Lincoln requested that a CHIA be prepared as a condition of site plan approval.

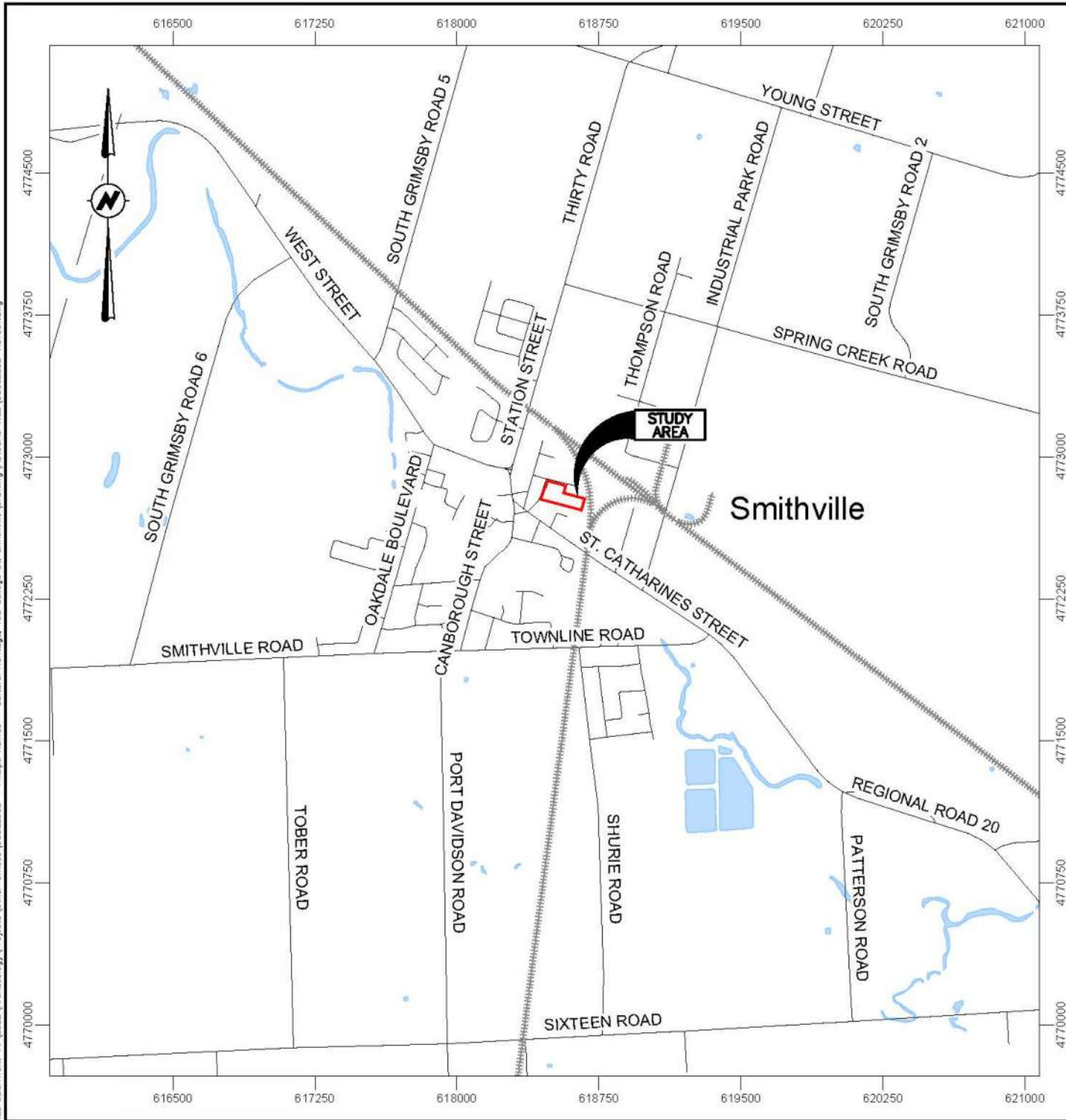
The preparation of this CHIA was guided by the Ministry of Heritage, Sport, Tourism and Cultural Industries' (MHSTCI) InfoSheet #5 of the *Ontario Heritage Tool Kit*, the MHSTCI's *Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities* (2006), the *Standards & Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification and Evaluation Process* (MHSTCI 2014), and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010).

1.2 Objectives and Tasks

To complete this CHIA, Wood:

- Undertook background research, including consultation of primary and secondary sources and review historical maps/aerial imagery to gain an understanding of the historical evolution of the Study Area;
- Collected online data and made agency information requests to the Township of West Lincoln, Ontario Heritage Trust, MHSTCI, West Lincoln Historical Society, and West Lincoln Public Library to gather information of the subject property to aid in determining the cultural heritage significance of the Study Area;
- Conducted a field investigation to establish the existing conditions of the Study Area, assess built heritage resources, cultural heritage landscape components, and identify heritage attributes (if warranted);
- Evaluated the Study Area using the criteria prescribed in *Ontario Regulation 9/06* (O. Reg. 9/06) of the *Ontario Heritage Act* and drafted a statement of Statement of Cultural Heritage Value or Interest (SCHVI);
- Assessed the potential direct and indirect impacts of the proposed development on the CHVI and heritage attributes of the Study Area; and,
- Recommended mitigation measures and a conservation approach to avoid or reduce the negative impacts.

DATE PLOTTED: 5/13/2023 10:22:26 AM
FILE LOCATION: P:\2022\Archaeology\Projects\Other\OCUL2202 - Phelps Homes - Cultural Heritage\132 College St. Smithville\Drafting\AutoCAD Files\OCUL2202-RD1001.dwg



PROJECT: CULTURAL HERITAGE IMPACT ASSESSMENT COLLEGE STREET SCHOOL 132 COLLEGE STREET TOWNSHIP OF WEST LINCOLN, ONTARIO		
TITLE: LOCATION OF THE STUDY AREA		
LEGEND: <div><div></div> STUDY AREA</div>		
NOTES: THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS REPORT No. OCUL2202. ALL LOCATIONS ARE APPROXIMATE. ORIGINAL PAPER SIZE: 8½ x 11. REFERENCES: CANMAP STREETFILES V2008.4.		
<div><div>03009001500m</div><div>SCALE 1:30000</div></div>		
2853972 Ontario Ltd. c/o Phelps Homes Ltd. 166 MAIN STREET WEST GRIMSBY, ONTARIO, L3M 1S3		
Wood Environment & Infrastructure Solutions 3450 HARVESTER ROAD, SUITE 100 BURLINGTON, ONTARIO, L7N 3W5 905-335-2353 wood.		
DWN BY: SJL	CHK'D BY: CD	DATE: MAY 12, 2022
DATUM: NAD83	PROJECTION: UTM Zone 17	PROJECT No: OCUL2202
REV No: 0		FIGURE No: 1

DATE PLOTTED: 5/13/2022 10:52:28 AM
FILE LOCATION: P:\2022\Archaeology\Projects\Other Offices\OCUL2202 - Phelps Homes - Cultural Heritage\132 College St. Smithville\Drafting\AutoCAD files\OCUL2202-101002.dwg



PROJECT:
CULTURAL HERITAGE IMPACT ASSESSMENT
COLLEGE STREET SCHOOL
132 COLLEGE STREET
TOWNSHIP OF WEST LINCOLN, ONTARIO

TITLE:
AERIAL PHOTOGRAPH SHOWING THE
LOCATION OF THE STUDY AREA

LEGEND:
 STUDY AREA

NOTES:
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE
WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS
REPORT No. OCUL2202.
ALL LOCATIONS ARE APPROXIMATE.
ORIGINAL PAPER SIZE: 8½ x 11.
REFERENCES:
2020 AERIAL PHOTOGRAPHS BY THE REGION OF NIAGARA;
CANMAP STREETFILES V2008.4.

0 10 30 50m
SCALE 1:1500

2853972 Ontario Ltd.
c/o Phelps Homes Ltd.
166 MAIN STREET WEST
GRIMSBY, ONTARIO, L3M 1S3

Wood
Environment & Infrastructure Solutions
3450 HARVESTER ROAD, SUITE 100
BURLINGTON, ONTARIO, L7N 3W5
905-335-2353

wood.

DWN BY: SJL	CHK'D BY: CD	DATE: MAY 12, 2022
DATUM: NAD83	PROJECTION: UTM Zone 17	PROJECT No: OCUL2202
REV No: 0		FIGURE No: 2

2.0 Methodology

2.1 Regulatory Requirements

The requirements to consider cultural heritage under the Planning Act process are found in the *Provincial Policy Statement* (PPS) (Government of Ontario 2020) and the *Ontario Heritage Act*, R.S.O. 1990, c. O.18 (Government of Ontario 1990).

2.1.1 Provincial Policy Statement

The PPS provides policy direction on matters of provincial interest related to land use planning and development (Government of Ontario 2020:1). The PPS is applicable to the entire Province of Ontario. Under the PPS, the conservation of cultural heritage is identified as a matter of provincial interest. Section 2.6 of the PPS gives direction on the consideration of cultural heritage and archaeology (Government of Ontario 2020:31). Specifically, the following direction is given regarding built heritage resources, cultural heritage landscapes, and protected heritage properties:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.

(Government of Ontario 2020)

2.1.2 Ontario Heritage Act

The *Ontario Heritage Act*, R.S.O. 1990, c. O.18 enables municipalities and the provincial government to protect heritage properties and archaeological sites (Government of Ontario 1990). The *Ontario Heritage Act* includes two regulations for determining Cultural Heritage Value or Interest (CHVI): Ontario Regulation (O. Reg. 9/06) and O. Reg. 10/06. O. Reg. 9/06 provides criteria to determine the CHVI of a property at a local level while O. Reg. 10/06 provides criteria to determine if a property has CHVI of provincial significance.

For this study, O. Reg. 9/06 was used. The criteria for determining CHVI under O. Reg. 9/06 are:

1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,

- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
- 3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

(Government of Ontario 2006a)

2.1.3 Township of West Lincoln Official Plan

The [Official Plan of the Township of West Lincoln](#) (Official Plan) was consolidated in July 2021. The purpose of the Official Plan is to provide detailed development and land use policies and to direct and guide development within the Township (Township of West Lincoln 2021). Policies and guidelines regarding heritage conservation are included in Section 8 of the Official Plan. Policies relevant to new development include:

8.3.2 *In reviewing proposals for the addition to, demolition or removal of designated buildings and structures or the alteration of existing buildings, the Township will be guided by the following general principles:*

- a) heritage buildings, associated landscape features and archaeological sites including their surroundings should be protected from any adverse effects of change;*
- b) original building fabric and architectural features such as doors, windows, mouldings, verge boards, walling materials and roofs should be retained and repaired rather than replaced wherever possible;*
- c) new additions and features should generally be no higher than the existing building and wherever possible be placed to the rear of the building or set back substantially from the principle façade.*

(Township of West Lincoln 2021a)

The Study Area is not listed on the Township of West Lincoln's heritage register nor designated under Part IV of the *Ontario Heritage Act*. Rather, the Study Area was identified by Township planning staff as having potential CHVI.

2.1.4 Niagara Region Official Plan

In April 2022 Niagara Region proposed an update to the Niagara Region Official Plan. The proposed plan intends to provide detailed development and land use policies to direct and guide development within Niagara Region. Proposed policies and guidelines regarding heritage conservation within the new plan are included in [Chapter 6 – Vibrant Region](#) of the Official Draft Plan. Policies relevant to new development include:

6.4.1.5 *Development and site alteration on protected heritage property or adjacent lands shall not be permitted, except where the proposed development and site alteration has been evaluated through a heritage impact assessment and it has been demonstrated that the heritage attributes of the*

protected heritage property will be conserved

(Niagara Region 2022: 22)

2.2 Guidance Documents

The Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) is responsible for the administration of the *Ontario Heritage Act* and has developed checklists, information bulletins, standards and guidelines, and policies to support the conservation of Ontario's cultural heritage resources, including built heritage resources, cultural heritage landscapes, and archaeological sites.

The MHSTCI released the *Ontario Heritage Tool Kit* in 2006, which is a series of guidelines that outline the heritage conservation process in Ontario. Two volumes from the *Ontario Heritage Tool Kit* were used to guide the preparation of this CHIA, including:

- *Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities* (MHSTCI 2006a)
- *Heritage Resources in the Land Use Planning Process, InfoSheet #5, Heritage Impact Assessments and Conservation Plans* (MHSTCI 2006b)

Also used to guide the preparation of this CHIA was the MHSTCI guide entitled *Standards and Guidelines for Conservation of Provincial Heritage Properties: Heritage Identification & Evaluation Process* (MHSTCI 2014) provides detailed direction on the completion of O. Reg. 9/06 evaluations.

2.3 Background Research

Background research was carried out to gain a thorough understanding of the historical context of the Study Area. Primary sources, secondary sources, historical maps, and aerial photographs were consulted, as appropriate, to identify historical themes relevant to the Study Area. Specifically, research regarding the physiography, survey and settlement, and 19th and 20th century land use of the Study Area was completed. A review of historical mapping and aerial photographs was also conducted to identify settlements, structures, and landscape features within, and adjacent to, the Study Area. Historical maps from 1862, 1876, 1907, 1929, 1938, 1964, 1968 and 1996 were reviewed. In addition, recent and historic aerial photographs from 1934, 1954, 1965, 2000 and 2018 as well as Google Earth imagery were reviewed to identify changes within, and adjacent to, the Study Area.

The results of the background research are presented in Section 3.0 of this report.

2.4 Community Consultation

Community consultation was carried out to gather background information and local perspectives on the Study Area. For this CHIA, the Township of West Lincoln, Ontario Heritage Trust, MHSTCI, West Lincoln Historical Society, and West Lincoln Public Library were contacted directly via email and/or phone to confirm the heritage status of the property and gather background information to inform the heritage evaluation.

The results of the community consultation activities are presented in Section 4.1 of this report.

2.5 Field Review

A field review of the Study Area was completed on April 14, 2022, by Wood Cultural Heritage Specialists Chelsea Dickinson and Heidy Schopf. The purpose of the field review was to establish the existing

conditions and identify potential heritage attributes in the Study Area. Weather conditions were sunny and warm and access to the building interior was provided by the Client. Photographic documentation of the Study Area and its spatial context was completed.

The results of the field review are presented in Section 4.2 of this report.

2.6 Cultural Heritage Evaluation

The scope of work for this CHIA included an evaluation of the Study Area to determine if it met the criteria for CHVI prescribed in O. Reg. 9/06 of the *Ontario Heritage Act*. The Study Area is considered to have potential CHVI but is not listed on the Township of West Lincoln's heritage register nor designated under Part IV of the *Ontario Heritage Act*.

The results of the O. Reg. 9/06 evaluation are provided in Section 4.2.5.2.1 of this report.

2.7 Impact Assessment

An impact assessment is required when a study area evaluated to have CHVI is anticipated to be directly or indirectly affected by a new development. InfoSheet#5 of *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement* (MHSTCI 2006b) provides guidance to assess the following direct and indirect impacts that may occur when development is proposed within, or adjacent to, a heritage property:

- Direct Impacts
 - Destruction of any, or part of any, significant heritage attributes or features
 - Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance
- Indirect Impacts
 - Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden
 - Isolation of a heritage attribute from its surrounding environment, context or significant relationship
 - Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features
 - A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in formerly open spaces
 - Land disturbances such as a change in grade that alters soils and drainage patterns that adversely affect an archaeological resource.

2.8 Mitigation Measures

When impact assessment determines that the new development will negatively affect the CHVI and heritage attributes of a study area, mitigation measures are required. MHSTCI InfoSheet#5 presents the following general strategies to minimize or avoid negative impacts to cultural heritage resources:

- Alternative development approaches

- Isolating development and site alteration from significant built and natural features and vistas
- Design guidelines that harmonize mass setback, setting, and materials
- Allowing only compatible infill and additions
- Reversible alterations
- Buffer zones, site plan control, and other planning mechanisms

In addition to the mitigation measures contained in InfoSheet#5, general standards for preservation, rehabilitation, and restoration are found in the *Standards and Guidelines for the Conservation of Historic Places in Canada* (CHP S&Gs) (Canada's Historic Places 2010:22). The CHP S&Gs are widely accepted as the guiding document for heritage conservation in Canada and contain general conservation standards and guidelines that are specific to cultural heritage resource types such as buildings, engineering works, and cultural heritage landscapes. Where applicable, guidelines from the S&Gs were used in this CHIA to recommend mitigation measures that are specific to a resource type.

3.0 Historical Context

To gain a thorough understanding of the history of the Study Area, a review of the physiography, survey and settlement, and 19th and 20th century land use was completed. A review of historical mapping and aerial photographs were also conducted to identify settlements, structures, and landscape features within, and adjacent to, the Study Area.

3.1 Physiography

The Study Area is situated in the Haldimand Clay Plain physiographic region, an area of about 1,350 square miles made up of a series of parallel clay belts that were once submerged in Glacial Lake Warren. The highest ground adjoins the Niagara Escarpment and the drainage of this belt is controlled by modest ridges which directs it eastwards via parallel streams, the most important of which is Twenty Mile Creek, Forty Mile Creek and the Welland River (Chapman and Putnam 1984). The 1935 *Soil Survey of County of Lincoln* (Canadian Department of Agriculture 1935) indicates that the dominant surface soil types within the Study Area is Haldimand Clay with imperfect drainage. The later 1989 *Generalized Soil Map Regional Municipality of Niagara Ontario* (Ministry of Agriculture and Food 1989) identified the area of the Study Area as urban lands and so did not comprehensively map the natural soil conditions.

The Study Area is located approximately 370 m north from the Twenty Mile Creek.

3.2 Indigenous Land Use

The history of Indigenous peoples in Southern Ontario spans thousands of years. The following synopsis therefore provides only a brief summary of this extensive time span but aims to illustrate the major developments in Indigenous life as revealed through oral history, archaeology, and ethnohistory. In this summary, “culture” —the term archaeologists use to describe a shared material culture that identifies a time period or group— is substituted with “way of life” to reflect the direct Indigenous lineage from those living in the earliest periods to the present day (Julien *et al.* 2010).

The cultural history of southern Ontario begins after the end of the Wisconsin Glacial Period, approximately 11,000 years ago. The earliest people to move into what is now Ontario followed what archeologists refer to as the Paleo way of life with small, highly mobile groups taking advantage of seasonally available resources and following the migration patterns of large mammals, including now extinct megafauna.

As the climate changed and people following a Paleo way of life grew familiar with their surroundings, they developed local adaptations around 9,500 years ago known as the Archaic way of life. Seasonal mobility continued, but more emphasis was placed on adapting to smaller territories and broadening the resource base. The archaeological record suggests that in general the social structures of Archaic people became increasingly complex, with Late Archaic archaeological sites showing evidence of exchange networks stretching as far away as the Mid-Atlantic as well as defined cemeteries with individuals buried with varied grave goods, indicative of a stratified society (Ellis and Ferris 1990).

The transition from an Archaic to Woodland way of life is marked by the introduction of ceramics. While hunter-gathering continued as the primary economy among some groups, others adopted agriculture and lived in large, sedentary villages and established broad trade networks. By the time of contact with Europeans, Southern Ontario was a culturally dynamic area, populated by distinct Iroquoian and Algonkian-speaking groups (Englebrecht 2003; Trigger 2000; Schmalz 1991). The Study Area is located

approximately 370 m north from the Twenty Mile Creek which would have acted as significant factor influencing and supporting traditional land use activities such as fishing and hunting, travel and trade routes and land use patterns and settlements (ASI and LHC 2021: 30).

In the late 1700s, the British colonial regime entered into a series of treaties with the Indigenous Nations in Canada. While these treaties were intended as formal legally binding agreements that would set out the rights, responsibilities and relationships between the First Nations and the federal and provincial governments, the government of Ontario acknowledges that Indigenous nations may have different understandings of the treaties (Government of Ontario 2022, Historic Canada 2021). As French and British colonization intensified from the 18th century onwards, Indigenous ways of life have adapted to change in complex and varied ways.

The Study Area is situated within the boundaries of the Between the Lakes Purchase signed on December 7, 1792, by the British Crown and representatives of certain Mississauga Anishnaabe peoples. The Between the Lakes Purchase included the land between the Lakes of Ontario and Erie. To clarify uncertainties with the description of the lands from the original purchase signed in 1792, Treaty No. 3 was drafted (Government of Ontario 2022). A full transcript of the Between the Lakes Purchase can be found within the Government of Canada's Treaty Texts - Upper Canada Land Surrenders, specifically the [Between the Lakes Purchase and Collins Purchase, No. 3](#) (Government of Canada 2016). To recognize and honour the municipality's Indigenous heritage and land rights, the Township of West Lincoln has developed the following land acknowledgement:

"On behalf of the Members of Committee/Members of Council and staff, we wish to acknowledge this land on which the Township of West Lincoln operates. The land on which we gather is the traditional territory of the Haudenosaunee and Anishinaabeg peoples and is still home to many Indigenous people today. We are grateful to have the opportunity to work here today and to follow the Haudenosaunee system of blending laws and values and the Anishinaabe beliefs to strive to live in harmony and balance throughout the Municipality. We acknowledge that we are all treaty people and accept our responsibility to honour all our relations."

(Township of West Lincoln 2021b).

3.3 Township Survey and Settlement

During the British colonial period, the Study Area was surveyed as within Lot 7 Concession 9 in the Geographic Township of Grimsby, Lincoln County.

3.3.1 Lincoln County

Lincoln County was formed in 1792 as was named by Lieutenant Governor John Graves Simcoe after the County of Lincolnshire in England (Rayburn 1997: 193). By the late 1800s, Lincoln County was comprised of the Townships of Grimsby, Clinton, Louth, Grantham, Niagara, Caistor and Gainsborough. In 1970, the Township of West Lincoln was formed by merging the Town of Beamsville, Township of Clinton, and part of the Township of Louth. That same year Lincoln County became part of the Regional Municipality of Niagara (Niagara Region) (Rayburn 1997: 193).

3.3.2 Grimsby Township

The Township of Grimsby was named for a town of the same name in Lincolnshire. The township measured approximately 146 square kilometres and was bounded by the townships of Clinton and

Gainsboro to the east, the Township of Caistor to the south, the townships of Binbrook and Saltfleet in Wentworth County on the west, and Lake Ontario to the north. Grimsby was further divided into the municipal townships of North and South Grimsby (Rayburn 1997: 144).

A significant water source in the Township of Grimsby was the Twenty Mile Creek, otherwise known as the River Jordan, and Forty Mile Creek. The general topography in 1876 was identified as gently sloping from the base of Mount Dorchester to Lake Ontario while the land near Twenty Mile creek was described as a mix between rolling or gently sloping topography. Some identified local plant species from the area as documented in 1876 included pine, oak, chestnut, sassafras, wild grapes and plums, crab apples and various berries (Page 1876).

Some of the early documented settlers to the Grimsby area include John Green and several members from the Nelle family including Captain Roberts, Abraham, and William who arrived in 1783, and the Pettitt, Smith, Walker, and Nixon families who arrived between 1784 and 1790 (Page 1876:10). The first mills were built by John Green and a grist and saw mill were built by Nathaniel Griffin in 1794. Church of England religious services in Grimsby were initially at the residence of Judge Pettitt in 1787, but formal churches later included a log structure built in 1794 and a stone building erected in 1812. The second and third churches within the township were located in the settlement of Smithville (Page 1876: 10).

The first school in the township was situated east of the Village of Grimsby and built in log in 1794. Later the same year, two other schools were built in the township, one in the settlement of Smithville and the other led by teacher John French (Page 1876: 10). Schools were also built in 1810 near Bonslaugh, in 1818 in the Merritt settlement, and in 1817 in Wolverton (Page 1876: 10).

By 1876, Grimsby had a total of 14 public schools, two high schools, two or three private schools, and 15 churches: five Methodist; two Methodist Episcopal; two Roman Catholic; and houses of worship for each of the Church of England, Presbyterian, Baptist, Universalist, Disciple, Union denominations (Page 1876: 10). Prominent settlements included the former Village of Grimsby (previously known as the Forty) and Smithville, where the Study Area is located (Page 1876: 10; Rayburn 1997: 144). In 1876, Smithville had a population 700 (Page 1876: 10).

In 1970, North Grimsby merged with the Town of Grimsby and the South Grimsby Township was annexed by West Lincoln Township (Rayburn 1997: 144).

3.3.3 Smithville

Smithville, in the south part of the former Grimsby Township, was initially called Griffinville in honour of Richard Griffin, a Welshman who had arrived via New York in 1787. Born on June 22, 1732, Richard Griffin took up occupations as a teacher, farmer and miller in Smithville and married Mary Smith, the daughter of Judge Abraham Smith. The couple later had twelve children (Griffin 1923: 29)



Plate 1: Oil painting reproduction depicting Smith Griffin (Griffin 1924: 28)

One of Richards sons, Smith Griffin, became a prominent member of the community and is credited with renaming the settlement to 'Smithville' to honour his mother. Smith built the first store and grist mill and operated a carding mill and ashery (Page 1876: 10; Rayburn 1997: 320; Griffin 1924: 34-36). He also established a road to Jordan Village and as Captain in the 4th Regiment fought in the Battle of Lundy's Lane on July 25, 1814 during the War of 1812 (Griffin 1924: 34-36). Additionally, Smith was a Methodist minister, though he never entered into the itinerancy. Reverend John Carrol's 1867 *Case and his Contemporaries* describes Smith as follows:

"One of these was Smith Griffin, Esq., grand-father of the Rev. Wm-S. Griffin, of the Wesleyan Conference. He resided at Smithville, which took its cognomen from his baptismal name. He was farmer, mill-owner, merchant and preacher, all in one. His multifarious worldly engagements seemed not to abate his zeal and activity in the cause of God. He was once heard to say that he 'had too much of his own business to attend to, to occupy himself with any of Satan's work.' Although intensely busy on week days with secular engagements, he went far and near on the Lord's day to preach. He was distinguished for liberality in advancing the cause of God."

(Carrol 1867: 302).

Following the construction of the Welland Canal, Smith acted as one of three commissioners appointed by the government to adjust land claims in connection with the area's overflow lands (Griffin 1924: 34). Smith's first wife was Eleanor Collver (or Culver), who died in 1812; two years later Smith remarried, this time to Harriet Douglas. Harriet passed away in October 1847 and Smith died two years later on Sept. 28, 1849.

Other early settlers to the Smithville area were Charles Meredith, Thomas Harris, Thomas North,

Lieutenant Monroe, Solomon Hill, Colonel Robert Nelles, William Crooks, Dennis Woolverton and Abraham Nelles, the latter called to legislative council in 1830 (Page 1876: 10).

During the 19th century, Smithville had five churches, a high school and public school, two halls, a Mechanics Institute, three hotels, one grist mill, multiple factories, and various merchants and stores, and reached the status of police village by 1887 (Page 1876: 10). However, the population of Smithville remained surprisingly static from the late 19th to early 20th centuries; in 1876 there were 700 inhabitants while in 1912 this number had only risen by 50 (Page 1876: 10; Mika and Mika 1987: 179; Rayburn 1997: 320). Photographs from the early 20th century show the small community organized around the intersection of Griffin Street South and Highway 20 (Plate 2).

Smithville's first school, built in 1795, was in operation until the mid 1800s and was led by Peter Pitcher then Doctor Gilbert Field and Reverend Bartram (Page 1923: 52; Boerema 2022). A second school was built in 1830 between Smithville and the hamlet of Middleport and taught by numerous teachers including Sarah Burkholder, Ann Field (Mrs. Hugh Bridgman), Eliza Dalton and Florella Morse. Private schools at this time were held in either the homes of the parents or in the old Court House.

Between 1830 and 1850 a three-room, two-storey frame school was built in Smithville and until 1885 served as a public school in the lower two rooms and a high school the upper room. Its first principal of was Fred Eastman (Page 1923: 53; Boerema 2022). Between 1885 and 1887, Smithville built their first high school in Study Area (see Section 3.5).



Plate 2: Smithville in 1922 - Griffin Street South (Page 1923: 48)

3.4 Review of Historical Mapping and Aerials

Historical mapping and aerials were examined to gain an understanding of 19th to 21st century land use of the Study Area and surrounding landscape. A summary of these historical records is presented below in Table 1.

Table 1: Review of 18th and 19th Century Historical Mapping and Aerials		
Year	Map Title	Historical Feature (s)
1862 (Figure 3)	<i>Historical County Map of Lincoln County</i> (Tremaine 1862)	<ul style="list-style-type: none"> The Study Area is located directly adjacent to the prominent development/footprint of the village of Smithville The portion of Lot 7 where the Study Area falls has no listed property owner Notable landmarks as indicated within the map include a Grist Mill and School both located south of the Study Area
1876 (Figure 4-Figure 5)	<i>Illustrated Historical Atlas of Lincoln and Welland Counties</i> (Page. 1876)	<ul style="list-style-type: none"> Increased development of Smithville is apparent The portion of Lot 7 where the Study Area falls is owned by a John N. French No development is shown within the Study Area. Several property parcels have been established to the west of the Study Area on Brock Street however there is no notable development/residences depicted A cemetery is depicted within 100 m to the south of the Study Area
1907 (Figure 6)	<i>1907 Topographic Map Ontario Grimsby Sheet</i> (Survey Division, Department of Militia and Defence 1907)	<ul style="list-style-type: none"> A school, now located at 132 College Street and entitled College Street Public School is located within the Study Area A hotel is depicted within 50 m to the west of the Study Area A cemetery is depicted within 100 m to the south of the Study Area The Canadian Pacific Railway is depicted approximately 150 m to the north of the Study Area Multiple structures are located to the west and south within 300 m of the Study Area
1929 (Figure 6)	<i>1929 Topographic Map Ontario Grimsby Sheet</i> (Geographical Section, General Staff, Department of National Defence 1929)	<ul style="list-style-type: none"> A Canadian Pacific Railway line is depicted directly adjacent to the Study Area The configuration of the Study Area is very stable and little change is depicted from the 1907 topographic map aside from the additional rail line
1934 (Appendix A: Plate A1)	1934 Aerial (Ministry of Natural Resources Canada 1934)	<ul style="list-style-type: none"> The configuration of the Study Area is consistent with the 1929 topographic map The school, located within the Study Area, features a square plan, a northern parking area and a rear play area
1938 (Figure 6)	1938 <i>Grimsby Ontario</i> (Geographical Section, General Staff, Department of National Defence 1938)	<ul style="list-style-type: none"> The configuration of the Study Area is very stable and little change is depicted from the 1929 topographic map and 1934 aerial
1954/55 (Appendix A: Plate A2)	1954/55 Aerial (Ministry of Natural Resources Canada 1954/55)	
1964 (Figure 6)	1964 Smithville, Ontario (Surveys and Mapping Branch, Department of Energy, Mines and Resources 1964)	<ul style="list-style-type: none"> An addition is visible to the north of the College Street Public School Morgan Avenue, located directly north of the Study Area, is now present
1965 (Appendix A: Plate A3)	1965 Aerial (Ontario Ministry of Natural Resources 1965)	<ul style="list-style-type: none"> The configuration of the Study Area is consistent with the 1964 topographic map
1968 (Figure 6)	1968 <i>Grimsby Ontario</i> [East] (Natural Resources Canada 1968)	<ul style="list-style-type: none"> The configuration of the Study Area is very stable and little change is depicted from the 1964 topographic map and 1968 aerial
1996 (Figure 6)	1996 <i>Hamilton Grimsby Ontario</i> (Natural Resources Canada 1996)	<ul style="list-style-type: none"> The surrounding lands/roadways are depicted in red indicating a higher degree of development including residential housing which is more established than previous years.
2000 (Appendix A: Plate A4)	2000 Aerial (Brock University 2016a)	<ul style="list-style-type: none"> The configuration of the Study Area and surrounding landscape is very stable and little change is depicted from the 1996 topographic map aside from portions of this property east of the Study Area which have been graded to subsoil between as evident in the historic aerials
2018 (Appendix A: Plate A5)	2018 Aerial (Brock University 2016b)	<ul style="list-style-type: none"> The configuration of the Study Area is consistent with the 2000 aerial topographic map

3.5 Property History

3.5.1 Land Registry Data

The original Land Patent for Lot 7 Concession 9 in Smithville was granted to Charles Meredith on June 22, 1796. In 1806, it passed from Meredith to Smith Griffin. The parcel exchanged hands several more times throughout the 19th century though the deed records are unclear. In 1851, "Henry H." sold the land to Catherine French, wife of John N. French (the name listed as property owner on the 1876 map). In 1857 the wife of John N. French, presumably still Catharine, sold the land to Moses H. Counsbury, who would sell the property again in 1906 to Helen Roberts. After 1906, the property was transferred to Joseph Rethazy and Roy M. McCollum before being sold to the Corporation of the Township of Grimsby in 1958. Twenty years later, the Public School Board of the Township School Area of West Lincoln placed an application for the property. In 2014, an application to consolidate was granted from the District School Board of Niagara to the client.

The land registry data for 132 College Street is transcribed below in Table 2 and a full copy of the abstract parcel data provided in Appendix B.

Table 2: Land Registry Data for Part of Lot 7, Concession 9, Grimsby Township, Lincoln County						
Instrument	Date Instrument	Date Register	Grantor	Grantee	Quantity of Land	Remarks
Patent 1796	June 22, 1796	n/a	Crown		All 188 Acres	n/a
Buy & Sale	August 24, 1806	January 10, 1822	Charles Meredith	Smith Griffin	All 188 Acres	The Lot
Record of Sale from Smith Griffin to a Henry H. Unclear						
Buy & Sale	April 9, 1851	February 11 1857	Henry H	Catherine French	<i>Illegible Note</i>	n/a
Buy & Sale	January 21, 1857	February 11 1857	John N French wife (presumably Catherine French)	Moses H. C.	1. N 7. P <i>[Illegible Last Name]</i>	n/a
All of Mortgage	October 12, 1906	15 October 1906	Moses Counsbury	Helen Roberts	n/a	See Griffin St. Smithville lot M. No. 4716 (Not Registered in Full)
Record of Sale between Helen Roberts and Joseph Rethazy. Missing						

Table 2: Land Registry Data for Part of Lot 7, Concession 9, Grimsby Township, Lincoln County						
Instrument	Date Instrument	Date Register	Grantor	Grantee	Quantity of Land	Remarks
Agreement	April 7, 1958	April 15, 1958	Joseph Rethazy & Roy M. McCollum	The Corporation of the Township of Grimsby	Whole parcel (29-1) & Part of Parcel (30-1)	n/a
Agreement	April 5, 1958	December 6, 1963	Joseph Rethazy & Roy M. McCollum	The Corporation of the Township of Grimsby	Whole parcel (29-1) & Part of Parcel (30-1)	n/a
Application	October 1, 1978	n/a	The Public School Board of the Township School Area of the Township of South Grimsby (owner)	n/a	n/a	n/a
Application to Consolidate	November 26, 2014	n/a	District School Board of Niagara	2853972 Ontario Inc.	n/a	n/a

3.5.2 College Street Public School

The College Street Public School was constructed between 1885 and 1887 as Smithville's first purpose-built high school. The school taught compulsory subjects including arithmetic, algebra, euclid, English, English composition, grammar, literature and dictation, history, and geography and offered several elective subjects including natural philosophy, chemistry, bookkeeping, French, Latin grammar, Greek, and "Caesar", "Cicero", and "Virgil".

As the only high school in the area, it drew students from neighboring counties including Welland and Haldimand, who paid fees of \$2.00 per month to be enrolled. These students were boarded in the Smithville during the school week. In 1890, enrollment at the school was 74 and overseen by Mr. James Tremeer as principal. To graduate, students were required to complete Senior, Junior and Primary Leaving Examinations which cost \$5.00. In 1898, the high school was had only two teachers and a caretaker, who was the only employee on a 12 month salary.

In 1913, the school's first recorded curricular activity group was formed. Known as the Excelsior Literary Society, their motto was "per aspera ad alta", which translates to "through difficulties to success", and their colours were purple and gold.

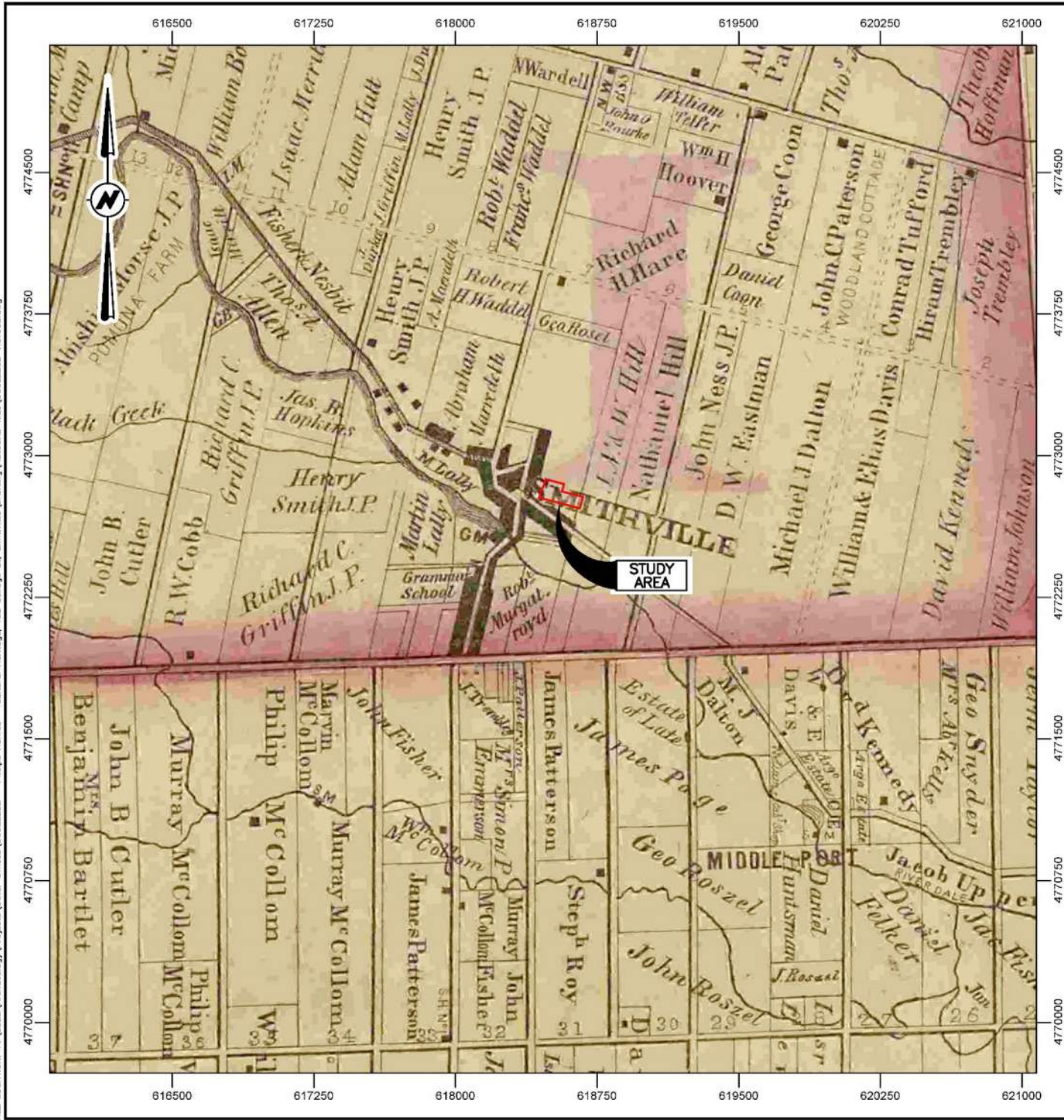
The original structure was a three-storey structure with three rooms. It survives as the core of the current school with only its rear or east elevation still visible. The first addition was built between 1921 to 1924 and included two rooms, one of which was a laboratory for teaching science. This was deemed a significant improvement as prior to this addition zoology and botany had limited storage facilities and had to rely on insect and weed collections obtained during the autumn months (Appendix C; Boerema 2022). Later additions to this school occurred in the years 1959, 1967, 1969 and 1972. Commemorative plaques in the Study Area identifies L. M. Huget, B. Arch as the architect for the 1967 and 1969 additions. L. M. Huget name was found in the 1955 Royal Architectural Institute of Canada membership list as accredited by the Ontario Association of Architects (OAA) and based out of Hamilton (RAIC 1955).

The 1959 addition significantly altered the main entrance and front façade by adding a principal and secretary's office and expanded the structure northwards to include three additional classrooms and two public washrooms. The 1967 addition consisted of two classrooms, one of which was a large L-shaped kindergarten classroom and a work room. The 1969 addition extended the structure further north to include a staff room and a second entrance with foyer. The 1969 addition also included a gymnasium with a mezzanine/stage, a library, and two public changerooms. The final addition in 1972 added three additional classrooms on the northeast corner of the building.

The College Street Public School closed before 2019, when the Township initiated studies to rezone the Study Area as High Density Residential (Township of West Lincoln 2020).

3.5.3 Summary of Property History

Historic mapping, land registry data, and city directory information indicate the "College Street Public School" in the Study Area was originally constructed between 1885 and 1887 as Smithville's first high school. Several new sections were added in the 20th century. In 1954, a new high school was constructed in Smithville and the Study Area became a primary school. The 1959 addition was constructed to include a kindergarten classroom to support this use. Additions were subsequently added in 1967, 1969, and 1972 to accommodate the primary school population of Smithville during the second half of the 20th century. The College Street Public School was closed prior to 2019 (Township of West Lincoln 2020).

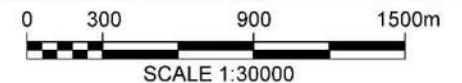


PROJECT:
CULTURAL HERITAGE IMPACT ASSESSMENT
COLLEGE STREET SCHOOL
132 COLLEGE STREET
TOWNSHIP OF WEST LINCOLN, ONTARIO

TITLE:
1862 TREMAINE'S MAP OF THE COUNTIES
OF LINCOLN AND WELLAND SHOWING THE
LOCATION OF THE STUDY AREA

LEGEND:
 STUDY AREA

NOTES
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE
WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS
REPORT No. OCUL2202.
ALL LOCATIONS ARE APPROXIMATE.
ORIGINAL PAPER SIZE: 8½ x 11.
REFERENCES:
G.R. & G.M. TREMAINE, 1862; CANMAP STREETFILES V2008.4.

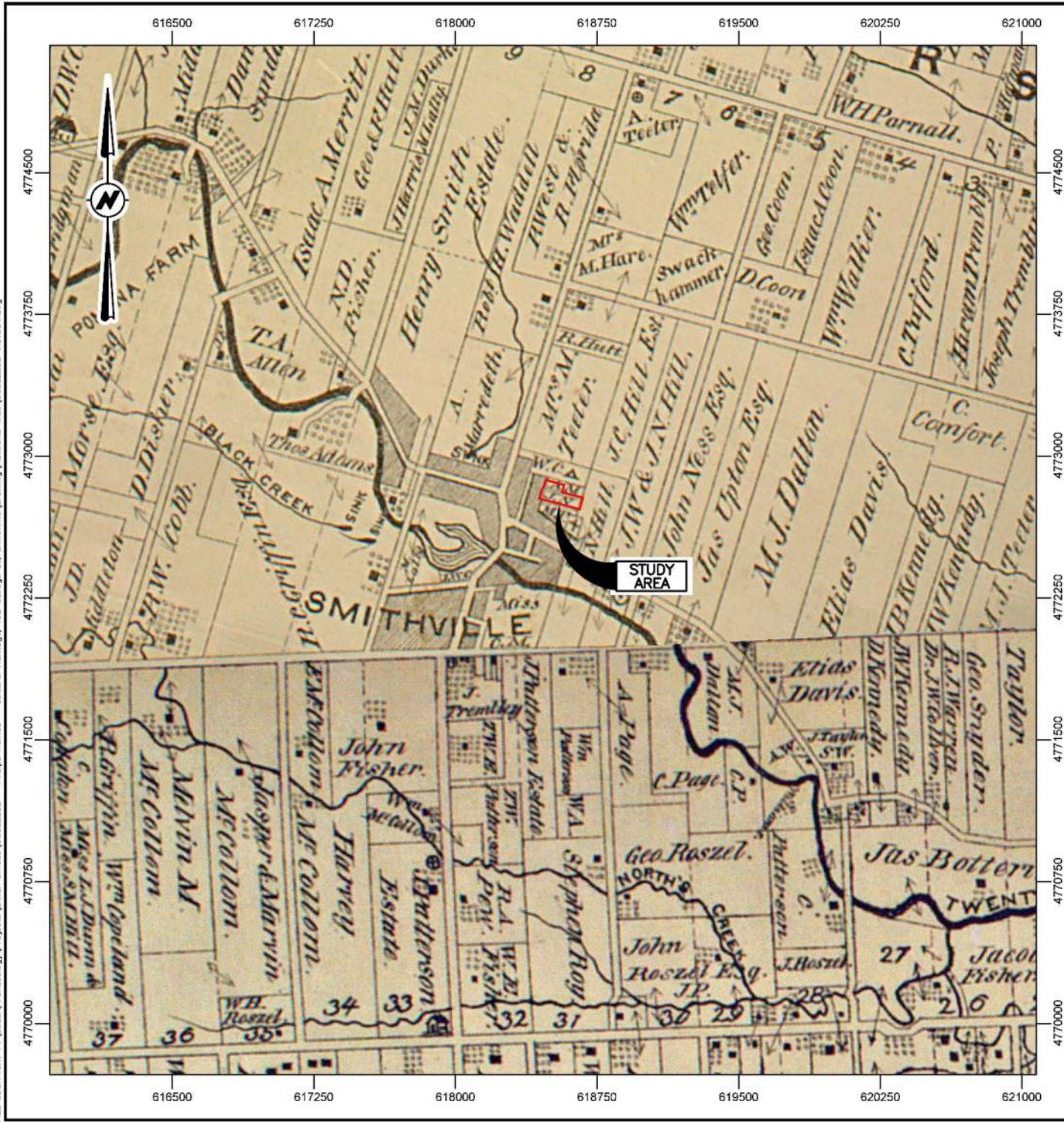


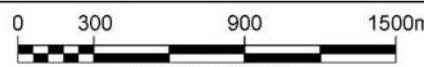

2853972 Ontario Ltd.
c/o Phelps Homes Ltd.
166 MAIN STREET WEST
GRIMSBY, ONTARIO, L3M 1S3

Wood
Environment & Infrastructure Solutions
3450 HARVESTER ROAD, SUITE 100
BURLINGTON, ONTARIO, L7N 3W5
905-335-2353

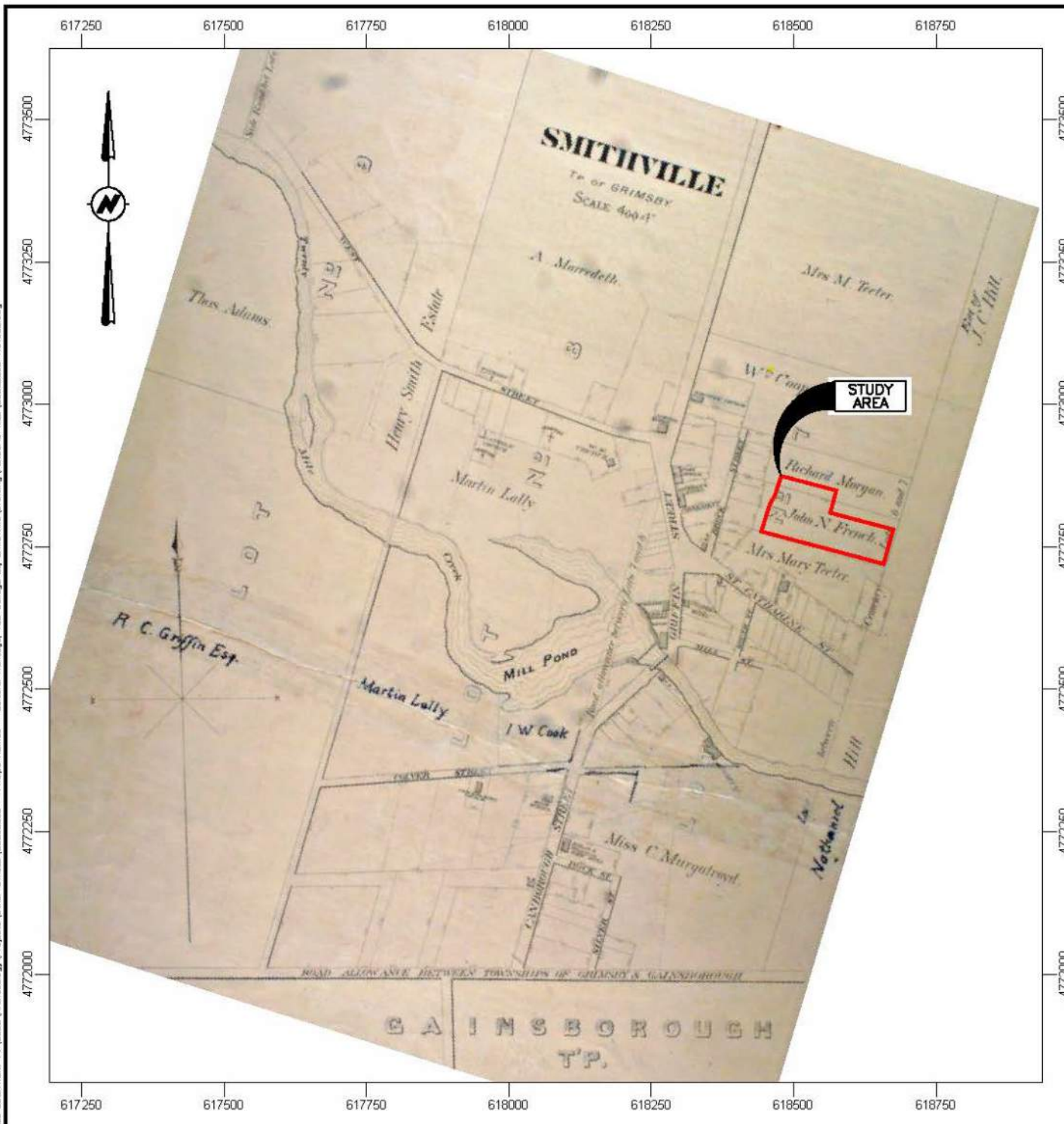
wood.

DWN BY: SJL	CHK'D BY: CD	DATE: MAY 12, 2022
DATUM: NAD83	PROJECTION: UTM Zone 17	PROJECT No: OCUL2202
REV No: 0		FIGURE No: 3



PROJECT: CULTURAL HERITAGE IMPACT ASSESSMENT COLLEGE STREET SCHOOL 132 COLLEGE STREET TOWNSHIP OF WEST LINCOLN, ONTARIO		
TITLE: 1876 ILLUSTRATED HISTORICAL ATLAS OF THE COUNTIES OF LINCOLN AND WELLAND SHOWING THE LOCATION OF THE STUDY AREA		
LEGEND: <div style="display: flex; align-items: center;"> <div style="border: 1px solid red; width: 10px; height: 10px; margin-right: 5px;"></div> STUDY AREA </div>		
NOTES: THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS REPORT No. OCUL2202. ALL LOCATIONS ARE APPROXIMATE. ORIGINAL PAPER SIZE: 8½ x 11. REFERENCES: H.R. PAGE & Co., 1876; CANMAP STREETFILES V2008.4.		
<div style="text-align: center;">  SCALE 1:30000 </div>		
<div style="text-align: center;"> 2853972 Ontario Ltd. c/o Phelps Homes Ltd. 166 MAIN STREET WEST GRIMSBY, ONTARIO, L3M 1S3 </div>		
<div style="text-align: center;"> Wood Environment & Infrastructure Solutions 3450 HARVESTER ROAD, SUITE 100 BURLINGTON, ONTARIO, L7N 3W5 905-335-2353  </div>		
DWN BY: SJL	CHK'D BY: CD	DATE: MAY 12, 2022
DATUM: NAD83	PROJECTION: UTM Zone 17	PROJECT No: OCUL2202
REV No: 0		FIGURE No: 4

DATE PLOTTED: 5/13/2022 1:30:05 PM
FILE LOCATION: P:\2022\Archaeology\Projects\Other Offices\OCUL2202 - Phelps Homes - Cultural Heritage\132 College St, Smithville\Drafting\AuroCAD files\OCUL2202-101005.dwg



PROJECT:
CULTURAL HERITAGE IMPACT ASSESSMENT
COLLEGE STREET SCHOOL
132 COLLEGE STREET
TOWNSHIP OF WEST LINCOLN, ONTARIO

TITLE
1878 ILLUSTRATED HISTORICAL ATLAS OF
THE COUNTY OF LINCOLN: TOWN OF SMITHVILLE
SHOWING THE LOCATION OF THE STUDY AREA

LEGEND:

 STUDY AREA

NOTES:

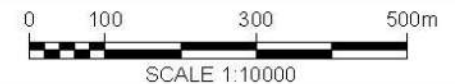
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE
WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS
REPORT No. OCUL2202.

ALL LOCATIONS ARE APPROXIMATE.

ORIGINAL PAPER SIZE: 8½ x 11.

REFERENCES:

H.R. PAGE & Co., 1876; CANMAP STREETFILES V2008.4.



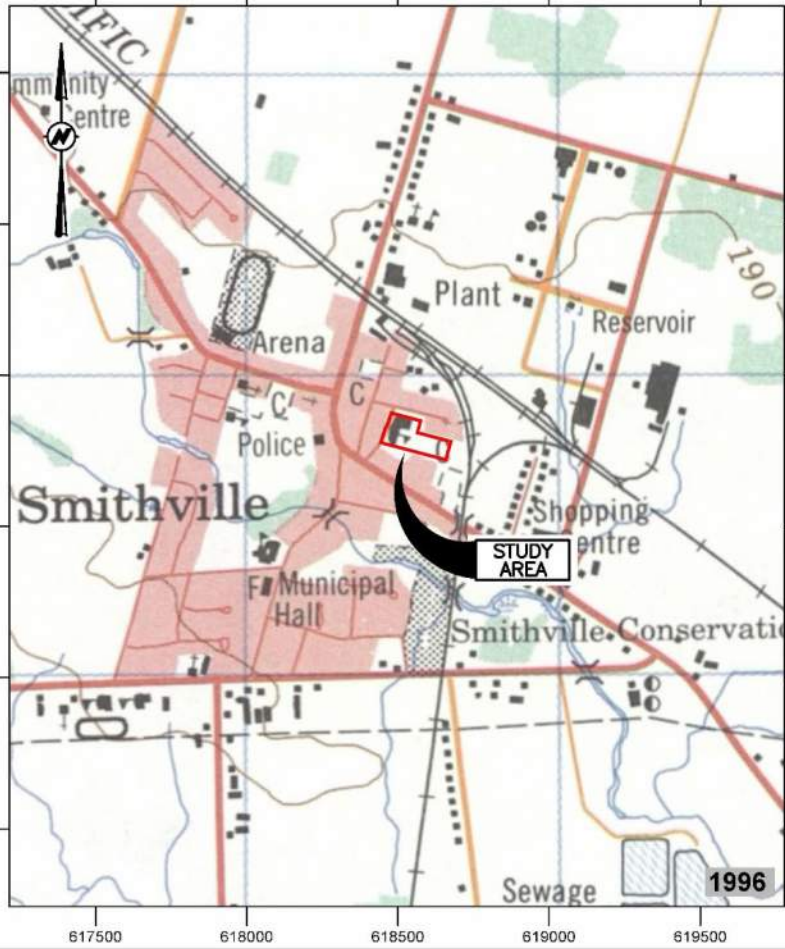
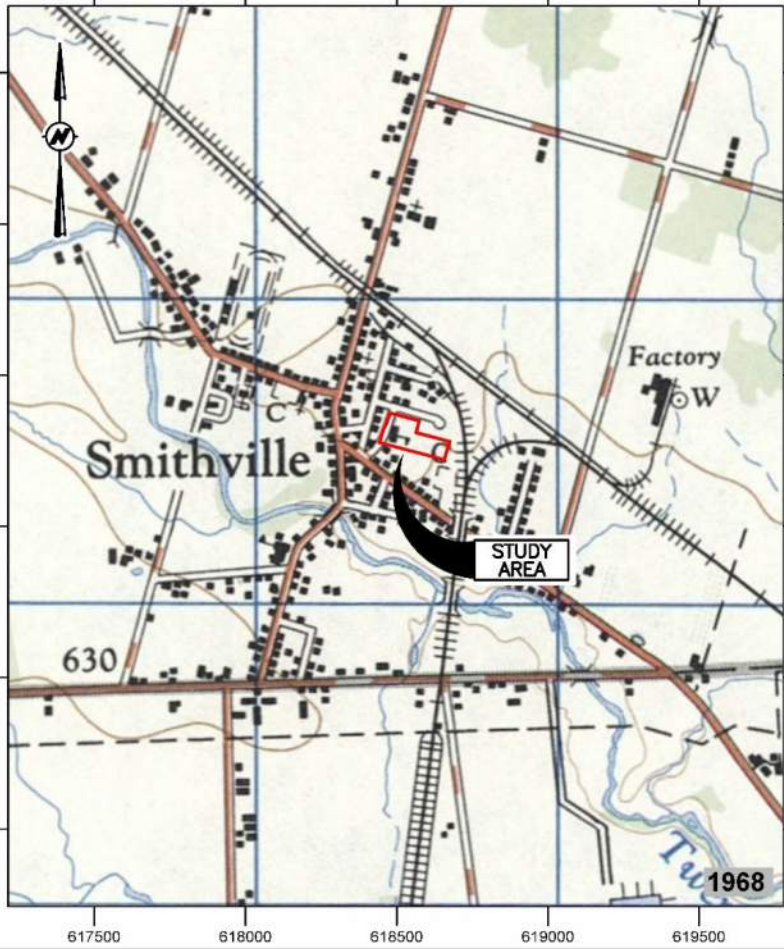
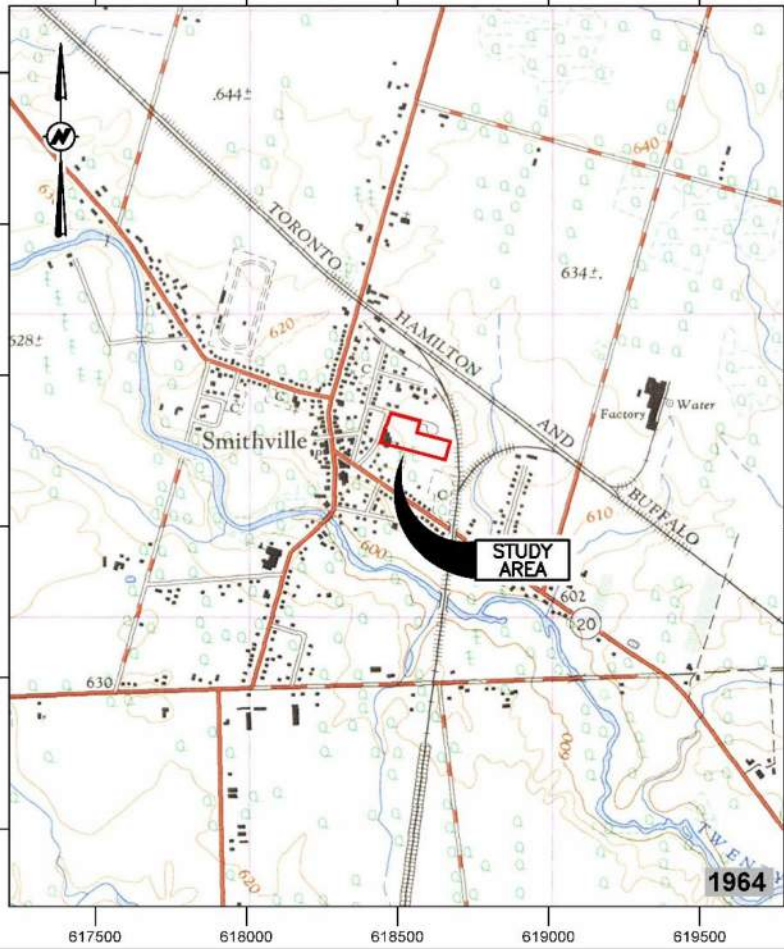
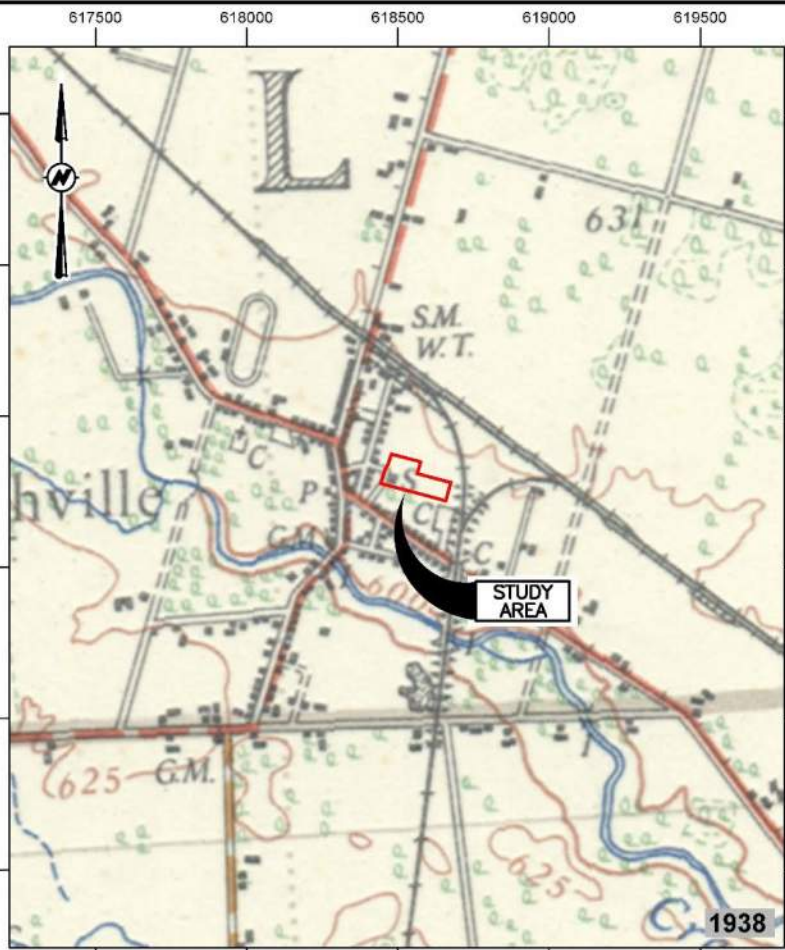
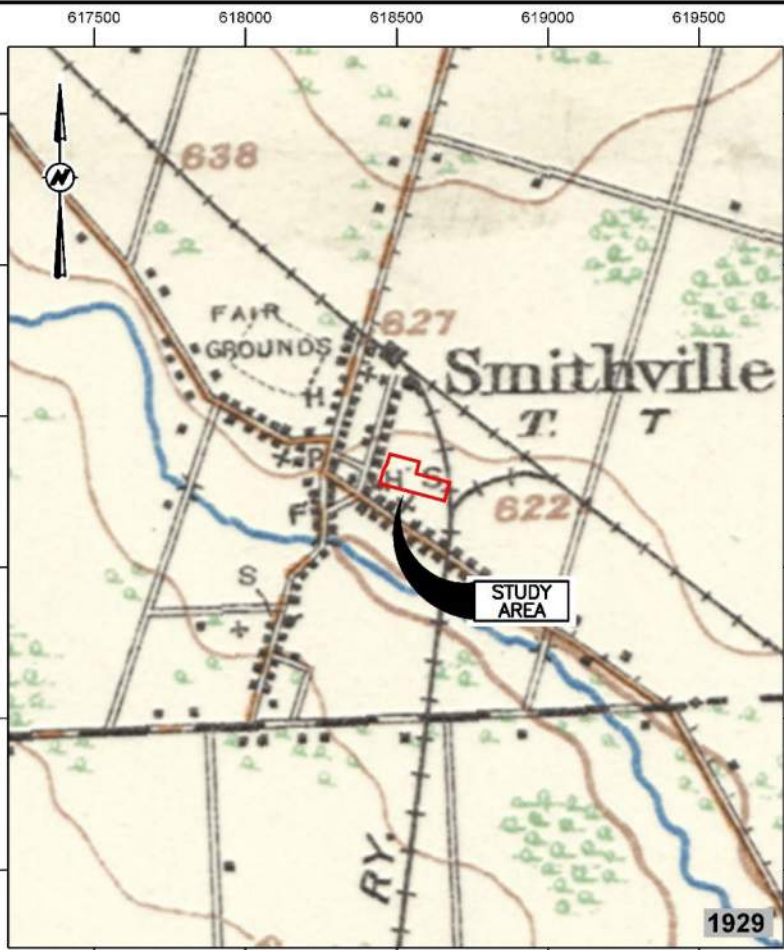
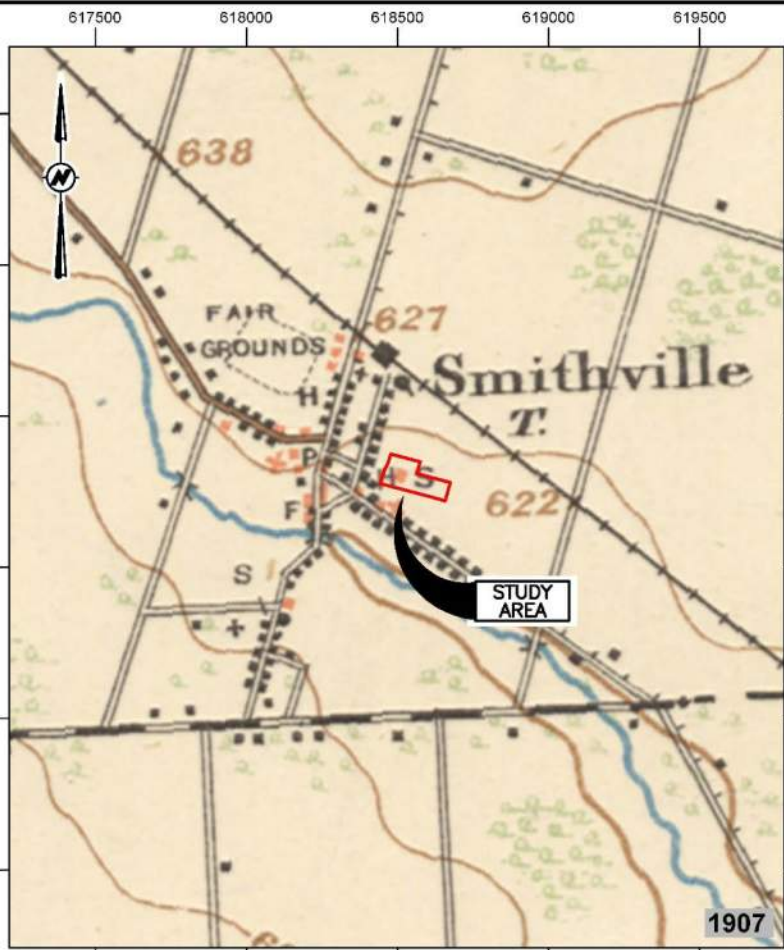
2853972 Ontario Ltd.
c/o Phelps Homes Ltd.
166 MAIN STREET WEST
GRIMSBY, ONTARIO, L3M 1S3

Wood
Environment & Infrastructure Solutions
3450 HARVESTER ROAD, SUITE 100
BURLINGTON, ONTARIO, L7N 3W5
905-335-2353

wood.

DWN BY:	CHKD BY:	DATE:
SJL	CD	MAY 12, 2022
DATUM:	PROJECTION:	PROJECT No:
NAD83	UTM Zone 17	OCUL2202
REV No:		FIGURE No:
0		5

DATE PLOTTED: 5/16/2022 10:21:20 AM
FILE LOCATION: P:\2022\Archaeology\Projects\Other Offices\OCUL2202 - Phelps Homes - Cultural Heritage\OCUL2202 - R01006.dwg



PROJECT:
CULTURAL HERITAGE IMPACT ASSESSMENT
COLLEGE STREET SCHOOL
132 COLLEGE STREET
TOWNSHIP OF WEST LINCOLN, ONTARIO

TITLE:
HISTORIC TOPOGRAPHIC MAPS SHOWING
THE LOCATION OF THE STUDY AREA

LEGEND:
[Red Outline] STUDY AREA

NOTES:
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE
WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS
REPORT No. OCUL2202.
ALL LOCATIONS ARE APPROXIMATE.
ORIGINAL PAPER SIZE: 11 x 17.
REFERENCES:
DEPARTMENT OF MILITIA AND DEFENCE, 1907; DEPARTMENT
OF NATIONAL DEFENCE, 1929/1938/1968; ARMY SURVEY
ESTABLISHMENT, 1964; NATURAL RESOURCES CANADA; 1996;
CANMAP STREETFILES V2008.4.

0 250 750 1250m
SCALE 1:25000

2853972 Ontario Ltd.
c/o Phelps Homes Ltd.
166 MAIN STREET WEST
GRIMSBY, ONTARIO, L3M 1S3

Wood
Environment & Infrastructure Solutions
3450 HARVESTER ROAD, SUITE 100
BURLINGTON, ONTARIO, L7N 3W5
905-335-2353

wood.

DWN BY:	CHK'D BY:	DATE:
SJL	CD	MAY 12, 2022
DATUM:	PROJECTION:	PROJECT No:
NAD83	UTM Zone 17	OCUL2202
REV No:		FIGURE No:
0		6

4.0 Existing Conditions

4.1 Information Gathering

The Township of West Lincoln, Ontario Heritage Trust, MHSTCI, the West Lincoln Historical Society, West Lincoln Public Library and current property owner were consulted to gather information on the Study Area.

Gerrit Boerema, Planner II at the Township of West Lincoln, forwarded background information on the Study Area from the West Lincoln Historical Society, and provided a copy of the Township's Heritage Registry for designated properties. At time of writing, a follow-up request regarding the presence or absence of listed heritage properties in the vicinity of the Study Area has not been answered.

No response was received from the Ontario Heritage Trust at the time of writing this report.

Karla Barboza, Acting Team Lead at the MHSTCI, reported that there are no provincial heritage properties designated under the *Ontario Heritage Act* by the Minister within, or adjacent to, the Study Area.

Loraine Drilling, Supervisor of Administrative Services at West Lincoln Public Library, recommended the use of their inter-library loan services to review potential resources with pertinent background information related to Smithville.

Communication from the West Lincoln Historical Society confirmed that the original structure was built between 1885 and 1887 with the first addition later built between 1921 and 1924. This is despite a map in possession of the current property owner that indicated original construction of the building in 1921. The earlier data is also supported by the results of the field review, which identified two distinct structural footprints/window stylings within what the map identifies as the original 1921/1924 structure. The results of fieldwork are discussed in further detail in the following sections.

4.2 Field Review Results

A field review of the Study Area was completed on April 14, 2022, by Wood Cultural Heritage Specialists Chelsea Dickinson and Heidy Schopf. The purpose of the field review was to establish the existing conditions of the Study Area and identify any heritage attributes in the Study Area. Access to the building interiors was provided by the client and weather conditions during the field review were sunny and warm.

4.2.1 Location Context

The Study Area borders the single lane (one in each direction) Morgan and College Streets, and residential properties on the east and south. The residences along Morgan Street were constructed in the mid- to late 20th century and include bungalows and ranch-style detached houses (Plate 3 and Plate 4). The mid- to late 20th century character of the residential neighbourhood continues the east side of 132 College Street where several residential backyards and a woodlot are located (Plate 5 and Plate 6). On the south the Study Area is bordered by a recent residential development (124 College Street Estates) (Plate 7). College Street, located on the west side of the Study Area, includes a mix of residential and commercial properties. The residential properties along College Street appear to be older and may have been constructed in the late 19th century or early 20th century (Plate 8 and Plate 9). A review of the general neighbourhood determined that there are six properties with potential cultural heritage value, including 121 St. Catharines Street, 183 St. Catharines Street, 130 Brock Street, 136 Brock Street, 200 Brock Street, 201 Brock Street, and 205 Brock Street (Plate 10 to Plate 15). Of these, only 130 Brock Street and 183 St.

Catharine's Street are adjacent to the Study Area. The locations of potential heritage properties in relation to the Study Area are shown in Figure 7.



Plate 3: West-northwest view of Morgan Street showing the former College Street School on the left



Plate 4: East-southeast view of Morgan Street showing the mid- to late 20th century character of the residential neighbourhood



Plate 5: East-southeast view from the rear of the former College Street School property looking towards recent residential development



Plate 6: North-northeast view from the rear of 132 College Street looking towards recent residential development



Plate 7: East-southeast view of the recent residential development located on the south side of 132 College Street, visible on the left



Plate 8: South-southwest view of College Street from Morgan Avenue. The former College Street School is located on the left.



Plate 9: North-northeast view of College Street showing mid-to late 20th century development on the left and 132 College Street on the right



Plate 10: Photo of 121 St. Catharines Street



Plate 11: Photo of 130 Brock Street (adjacent to 132 College Street)



Plate 12: Photo of 136 Brock Street



Plate 13: 201 Brock Street

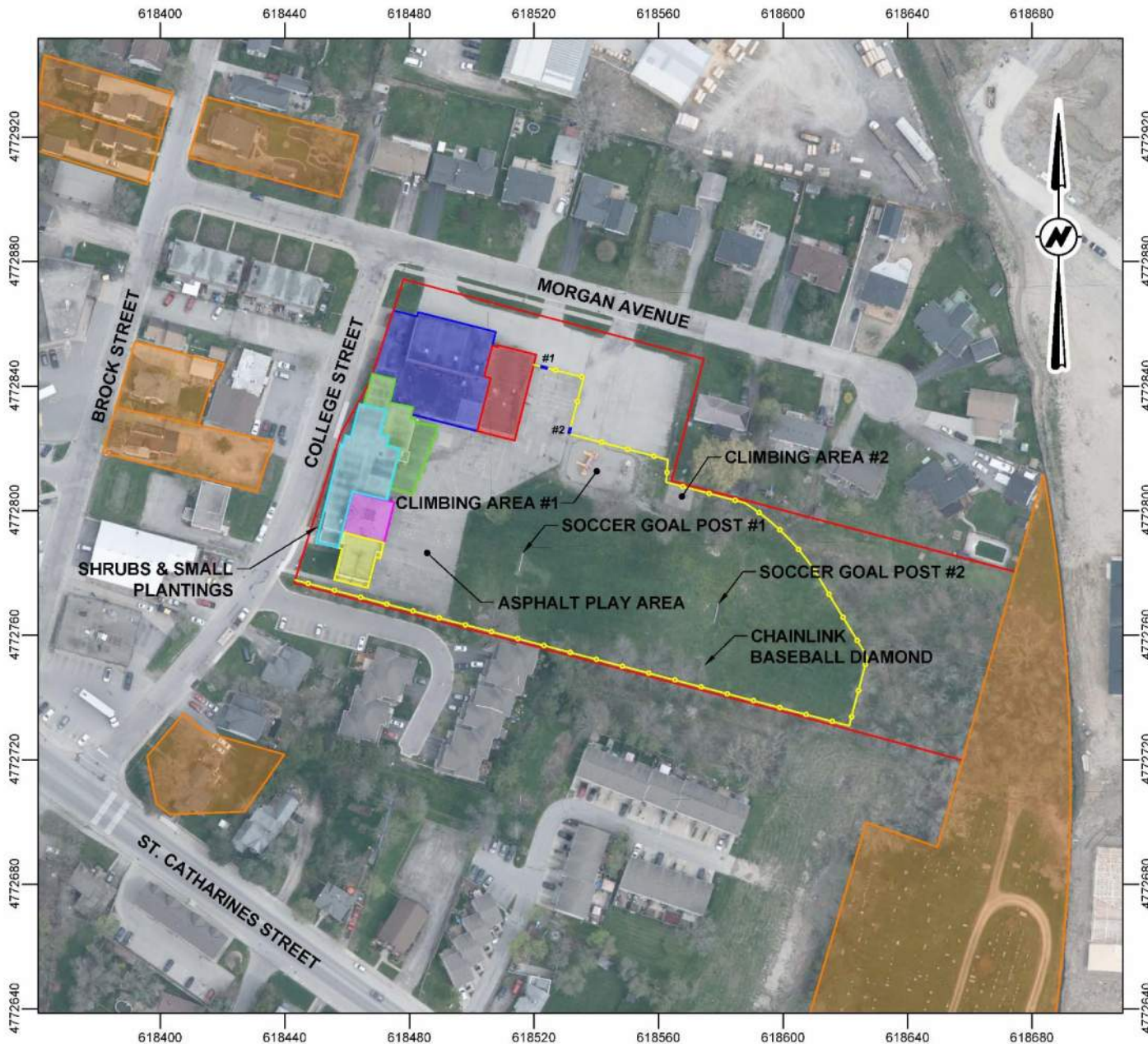


Plate 14: Photo of 205 Brock Street



Plate 15: Photo of 200 Brock Street

DATE PLOTTED: 5/25/2022 3:14:28 PM
FILE LOCATION: P:\2022 Archeology\Projects\Other Offices\OCUL2202 - Phelps Homes - Cultural Heritage - OCUL2202-101007.dwg

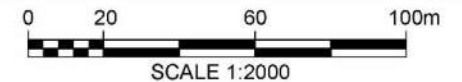


PROJECT:
CULTURAL HERITAGE IMPACT ASSESSMENT
COLLEGE STREET SCHOOL
132 COLLEGE STREET
TOWNSHIP OF WEST LINCOLN, ONTARIO

TITLE:
EXISTING CONDITIONS AT 132 COLLEGE STREET

- LEGEND:
- STUDY AREA
 - FENCE LINE
 - GATE (NUMBERED)
 - ORIGINAL CONSTRUCTION (1885-1887)
 - BUILDING ADDITION (1921/1924)
 - BUILDING ADDITION (1959)
 - BUILDING ADDITION (1967)
 - BUILDING ADDITION (1969)
 - BUILDING ADDITION (1972)
 - POTENTIAL HERITAGE PROPERTIES

NOTES:
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE
WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS
REPORT No. OCUL2202.
ALL LOCATIONS ARE APPROXIMATE.
ORIGINAL PAPER SIZE: $8\frac{1}{2}$ x 11.
REFERENCES:
2020 AERIAL PHOTOGRAPHS BY THE REGION OF NIAGARA;
CANMAP STREETFILES V2008.4.



2853972 Ontario Ltd.
c/o Phelps Homes Ltd.
166 MAIN STREET WEST
GRIMSBY, ONTARIO, L3M 1S3

Wood
Environment & Infrastructure Solutions
3450 HARVESTER ROAD, SUITE 100
BURLINGTON, ONTARIO, L7N 3W5
905-335-2353

wood.

DWN BY:	CHK'D BY:	DATE:
SJL	CD	MAY 12, 2022
DATUM:	PROJECTION:	PROJECT No:
NAD83	UTM Zone 17	OCUL2202
REV No:		FIGURE No:
0		7

4.2.2 Landscape Context

The approximately 4.4-acre Study Area retains several education-related landscape elements. The front façade of the former school faces College Street where building envelope is constructed less than 2 m from the sidewalk/public right-of way. The space within the Study Area between the sidewalk and building envelope is comprised sections of asphalt interspersed with shrubs and small plantings (Plate 16). There is a small garden with shrubs and trees surrounding the front entrance to the school (Plate 17 and Plate 18). The south side of the school includes a concrete walkway, a narrow strip of lawn, and a tree line planted along a chain link fence (Plate 20). The north side of the property includes a large parking lot with isolated sections of lawn (Plate 21).

Most of education related landscape elements are located on the east side of the school at the rear of the Study Area. An asphalt covered yard is located immediately adjacent to the rear (east elevation) of the school building (Plate 22). The yard includes two basketball courts and playground markings (Plate 23 and Plate 24). Beyond the school yard is a large grass playing field that extends to the rear of the Study Area (Plate 25 and Plate 26). The grass playing field includes a soccer pitch, overgrown baseball diamond, and two play structures (Plate 27 to Plate 29). The back of the grass playing field is bounded by a chain link fence and cleared woodlot (Plate 30). The view from the back of the playing field towards the school shows how large the recreational grounds are relative to the school building (Plate 31).



Plate 16: South view of the front façade of 132 College Street showing concrete sidewalk and asphalt areas punctuated with isolated plantings



Plate 17: Plantings located at the front entrance to 132 College Street, looking south



Plate 18: Plantings located at the front entrance to 132 College Street, looking north



Plate 19: Southwest corner of 132 College Street showing the small lawn



Plate 20: View of the south side of school showing the concrete path, lawn, tree line, and chain link fence



Plate 21: East-southeast view of the parking lot on the north side of the school



Plate 22: Asphalt school yard at the rear (east elevation) of the building



Plate 23: Basketball court on the east side of the school



Plate 24: Painted school yard game on the east side of the school



Plate 25: Northeast view showing the asphalt school yard on the left and large grassy playing field on the right



Plate 26: East view of the large playing field at the rear of the property



Plate 27: Overgrown baseball diamond in the grass playing field at the rear of the property



Plate 28: Play structure at the rear of the property



Plate 29: Metal play structure at the rear of the property



Plate 30: Chain link fence at cleared woodlot at the rear of the property



Plate 31: View of the school from the back of the grass playing field

4.2.3 College Street Public School (Building Exterior)

The College Street Public School in the Study Area is a two-storey building constructed in stages with the original core of the building built in 1885/1887 and additions added in 1921/1924, 1959, 1967, 1969, and 1972. The total floor area is 44,152.50 square feet (Appendix C). The original structure has a square footprint measuring approximately 43 by 43 feet (13.1 × 13.1 m) while the extensions off the original structure extend northwards approximately 201 feet (61.3 m) and southwards approximately 45 ft. All of the additions have irregular footprints and flat roofs and a variety of depths.

The front façade of the school front onto College Street and includes sections of the 1969, 1967, 1959, and 1921/1924 additions. A small section of the roofline of the original 1885/1887 school is visible from College Street (Plate 32 to Plate 35).

The northern portion of the front façade (west elevation) is comprised of the 1969 addition (Plate 36). This addition is one storey and constructed in simple, modernist style. The roof is flat with plain fascia and soffit. This section of the building is clad in red brick laid in stretcher bond. The recessed entrance is offset to the left (north). The windows in the 1969 addition have simple rectangular openings with no ornamental features. A 1969 date stone is located on the right side of the entrance.

The 1967 addition is located on the right (south) side of the 1969 addition (Plate 37). The addition has a modernist, stepped design with an irregular footprint. The 1967 addition has one bay and is divided from the adjacent 1969 and 1959 additions by vertical, red brick walls. The west elevation of the 1967 addition includes rows of classroom windows on the first and second floors. The windows have simple, rectangular

openings with no ornamental elements.

The 1959 addition is located on the right (south) side of the 1967 addition (Plate 37 and Plate 38). The 1959 addition is two storeys high with a flat roof. This section of the building is constructed in a modernist style with pronounced, projecting eaves with brackets. The 1959 addition is truncated by red brick exterior walls that are laid out in a stretcher bond, but the vast majority of the elevation is comprised of rows of classroom windows and stucco panels. There are two entrances to the 1959 section of the building. One entrance is offset to the right (north) and includes a double height, recessed entryway with double doors. The second entrance is offset to the left (south) and is accessed by a set of concrete stairs flanked by red brick planters. A 1959 date stone is located on the front of the left planter.

The southernmost end of the front façade (west elevation) is comprised of the 1921/1924 addition (Plate 38 and Plate 39). The 1921/1924 addition features a flat roof with concrete eaves and a moulded wooden architrave that blends with the original structure's fascia and soffit to the north. The fenestration of the 1921/1924 is clad in red common bond brick with brick panelling. The fenestration features two upper rectangular two-light windows with plain lug sills, and aluminum trim/ transom and two lower and basement blind windows covered in stucco. Unlike the additions from the 1950s and 1960s, the 1921/1924 addition is constructed in an Edwardian style.

A small section of the original 1885/1887 school is visible from College Street (Plate 40 and Plate 41). All of the original front façade of the school is obscured by the 1959 addition except for a small section of the roofline where an oval dormer with four lights is visible. The only other remaining original feature of the roofline are the wood brackets. The fascia and soffit have been covered with new, aluminum siding. Original window openings are visible under the roofline and are segmentally arched with header and stretcher voussoirs. The windows have been bricked over to form a blind. The visible section of the original school building is clad in red brick laid out in a stretcher bond.

The north elevation of the school is comprised of the 1969 and 1972 additions of the building (Plate 42). The 1969 section of the north elevation is two storeys in height and houses the gym. This elevation has one aluminum door that is offset to the left (east). The door is accessed via a concrete ramp with a wood railing (Plate 43 and Plate 44). There are four brick projections on the first storey of the 1969 addition that housed ventilation infrastructure. This section of the building has a flat roof, concrete foundations, and is clad in red brick laid out in a stretcher bond. The 1972 addition of the north elevation is a simple, one storey section of the building that is clad in red brick that is laid out in stretcher bond. There is one entrance to the 1972 addition that is offset to the right (west). The entrance is recessed and has a double, aluminum door that is access via a metal staircase (Plate 45). A 1972 date stone is located on the left side of the entrance (Plate 46). The 1972 section of the building has two windows that have simple, rectangular openings.

The east elevation of 132 College Street includes sections of the 1972, 1969, 1967, 1959, 1921/24, additions and the 1885/1887 original core of the school. The north half of the east elevation is comprised of the mid-20th century additions to the school (Plate 48). Here, the architectural style of the 1972, 1969, 1967, and 1959 additions mirrors the simple, modernist design shown of the front façade. The 1959 section is two storeys high while all other additions are one storey in height. All rooflines are flat and window openings are simple and rectangular with no ornamental finishes. There is one entrance to the 1959 addition that is offset to the left (south) and provides below grade access to the basement. The west elevation also includes an entrance to the 1967 addition that is offset to the right (north) (Plate 49, Plate 51, and Plate 52). There is one entrance to the 1967 addition on the east elevation that is accessed via a

metal staircase (Plate 50).

The south half of the east elevation includes the original 1885/1887 section of the building and the 1921/1924 addition (Plate 53). The 1885/1887 addition is a two storey, four bay, brick building with a square footprint (Plate 54). The original section of the building has a hipped roof that is clad in asphalt shingles. The roof has projecting eaves with wood brackets. The soffit is decorated with dentils and the fascia is plain. The original building has stone foundations and is clad in red brick laid out in a common bond (Plate 55). The base of the building includes a brick plinth. The window openings of the original building are segmentally arched with header/stretcher voussoirs and plain stone sills (Plate 56). The windows are all replaced/new. Overall, this original section is built in an institutional Italianate style. The red brick of the original school building also has etched graffiti with the names of past students (Plate 57).

The 1921/1924 addition comprises the southernmost section of the school. The east elevation of the 1921/1924 addition is two storeys high with a flat roof, red brick exterior, and concrete foundations (Plate 58). The rear elevation is arranged in three bays that are marked with recessed brick borders. The rear has four windows (two on the first storey and two on the second storey). The windows have rectangular window openings with no decorative surrounds and plain concrete sills (Plate 59). The east elevation of the 1921/1924 elevation includes a projecting entrance that is offset to the right (north) (Plate 60). The entrance has a ground level double door that is covered by flat awning that is suspended by a set of chains (Plate 61). A double window is located above the entrance.

The south elevation is mainly comprised of the 1921/1924 addition of the school. This section of the building is two storeys high with a flat roof, concrete foundations, and red brick exterior. The south elevation of the 1921/1924 addition has four sets of classroom windows (two on each floor). The window openings are rectangular with no decoration and plain, concrete sills. The south elevation also includes a small section of the 1959 addition on the front façade and the 1967, 1969, and 1972 additions at the rear of the building (Plate 62 and Plate 63).



Plate 32: North half of the front façade (west elevation)



Plate 33: South half of the front façade (west elevation)



Plate 34: North and west elevations of 132 College Street



Plate 35: West and south elevations of 132 College Street



Plate 36: West elevation of the 1969 addition (outlined in purple) and 1967 addition (outlined in green)



Plate 37: West elevation of the 1967 addition (outlined in green) and 1959 addition (outlined in light blue)



Plate 38: West elevation of the 1959 addition (outlined in light blue) and 1921/1924 addition (outlined in yellow)



Plate 39: West elevation of the 1921/1924 addition (outlined in yellow)



Plate 40: View of the front façade (west elevation) showing the 1885/1887 original core of 132 College Street



Plate 41: Photo of the oval dormer in the centre of the original 1885/1887 core of 132 College Street



Plate 42: North elevation showing the 1969 elevation on the right (outlined in purple) and the 1972 elevation on the left (outlined in red)



Plate 43: Door, concrete ramp, and brick projections on the north elevation.

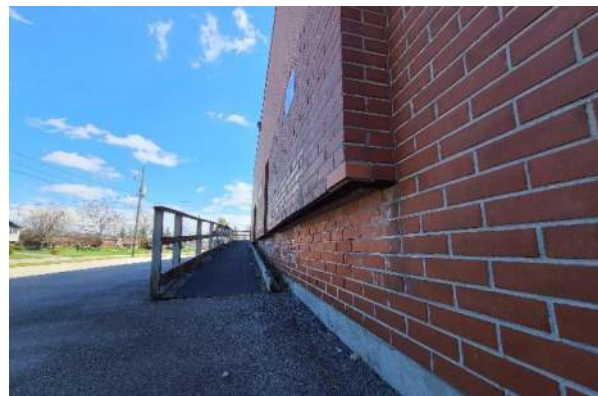


Plate 44: Ramp and brick projections on the north elevation.



Plate 45: Entrance to the 1972 section of the north elevation



Plate 46: 1972 date stone on the north elevation



Plate 47: East elevation of the College Street Public School



Plate 48: Northwest view of the east elevation of the College Street Public School showing the 1959 addition (outlined in green), 1967 addition (outlined in light blue), 1969 addition (outlined in purple), and 1972 addition (outlined in red)



Plate 49: East elevation of the 1959 and 1969 additions showing the below grade access to the basement



Plate 50: Stepped design of the 1967 addition



Plate 51: Below grade access to the basement located on the east elevation of the 1959 addition



Plate 52: Blocked entrance to the 1959 addition located between the 1967 and 1969 additions



Plate 53: East elevation of the 1921/1924 addition (outlined in yellow) and 1885/1887 original school (outlined in pink)



Plate 54: East elevation (rear) of the original College Street Public School (built 1885/1887)



Plate 55: Stone foundations and red brick exterior of the original school



Plate 56: Segmentally arched windows on the rear elevation of the original school



Plate 57: Graffiti etched on the red brick of the original 1885/1887 section of the school



Plate 58: East elevation of the 1921/1924 addition of 132 College Street



Plate 59: Photo of concrete foundations, red brick exterior, and rectangular windows on the 1921/1924 addition



Plate 60: Entrance to the 1921/1924 addition located on the east elevation



Plate 61: South elevation of the 1921/1924 addition of 132 College Street



Plate 62: South elevation of the 1959 addition from the front façade (west elevation)



Plate 63: South elevation showing the 1967, 1969, and 1972 additions from the east elevation

4.2.4 College Street Public School (Building Interior)

The school at 132 College Street consists of two distinct above ground levels and one lower level. For the purposes of this analysis, the interior will be discussed in terms of these floors in relation to their associated years of construction. A marked-up floor plan with coloured hatched boundaries to represent the associated dates of construction as inferred from background research and information gathering is provided in Plate 76 to Plate 88. Detailed photographs of the building interior are provided in Appendix D. Copies of the floor and site plans are provided in Appendix C and the associated reference colours provided below:

- Original Construction (1885-1887) - Pink¹
- Building Addition (1921/1924) - Yellow
- Building Addition (1959) – Light Blue
- Building Addition (1967) - Green
- Building Addition (1969) - Purple
- Building Addition (1972) – Red

4.2.4.1 First Floor

The first floor of 132 College Street includes sections of the 1885/1887 original school and 1921/1924 1959, 1967, 1969, and 1972 additions. A floor plan showing the layout of the first floor is provided in Plate 76. The first floor contains the principal's office, secretary's office, nine classrooms, four bathrooms, three corridors, three connected kindergarten rooms, a work room, a staff room, a foyer, a custodian room, a servery, library, library office, vice-principal's office, a gymnasium with stage/mezzanine, change rooms, storage areas, and four sets of stairs. The first floor also contains movable artifacts related to the history of the school that have potential cultural heritage value, including: the intercom system in the secretary's office, chalkboards throughout the first floor, mail cubby in the staff room, wood lectern with school crest

¹ Footprint of original structure inferred from background research/field visit

in the stage/mezzanine, school crest above the stage in the gymnasium, the 'Great Things Are Happening at College St.' sign in the foyer, and the 'The Simpson Junior Sportsmanship Trophy' list of qualifiers found in the foyer (Plate 64 to Plate 71). Original building elements related to the original 1885/1887 school that remain in place include: the moulded trim around the windows in Art Classroom 2 (131) and the railings in stairwell 132 (Plate 72 to Plate 74).



Plate 64: Intercom system in the secretary's office



Plate 65: Example of a chalkboard with wood trim



Plate 66: Mail cubby in the staff room



Plate 67: School crest on the lectern



Plate 68: Wood lectern on the stage/mezzanine



Plate 69: School crest above the stage/mezzanine



Plate 70: 'Great Things Are Happening At College St.' sign in the foyer



Plate 71: 'The Simpson Junior Sportsmanship Trophy' list of qualities in the foyer



Plate 72: Original 1885/1887 moulded window trim in Art Classroom 2



Plate 73: Original metal railings in stair 132



Plate 74: Detail of moulded window trim in Art Classroom 2



Plate 75: Original railing in stair 132

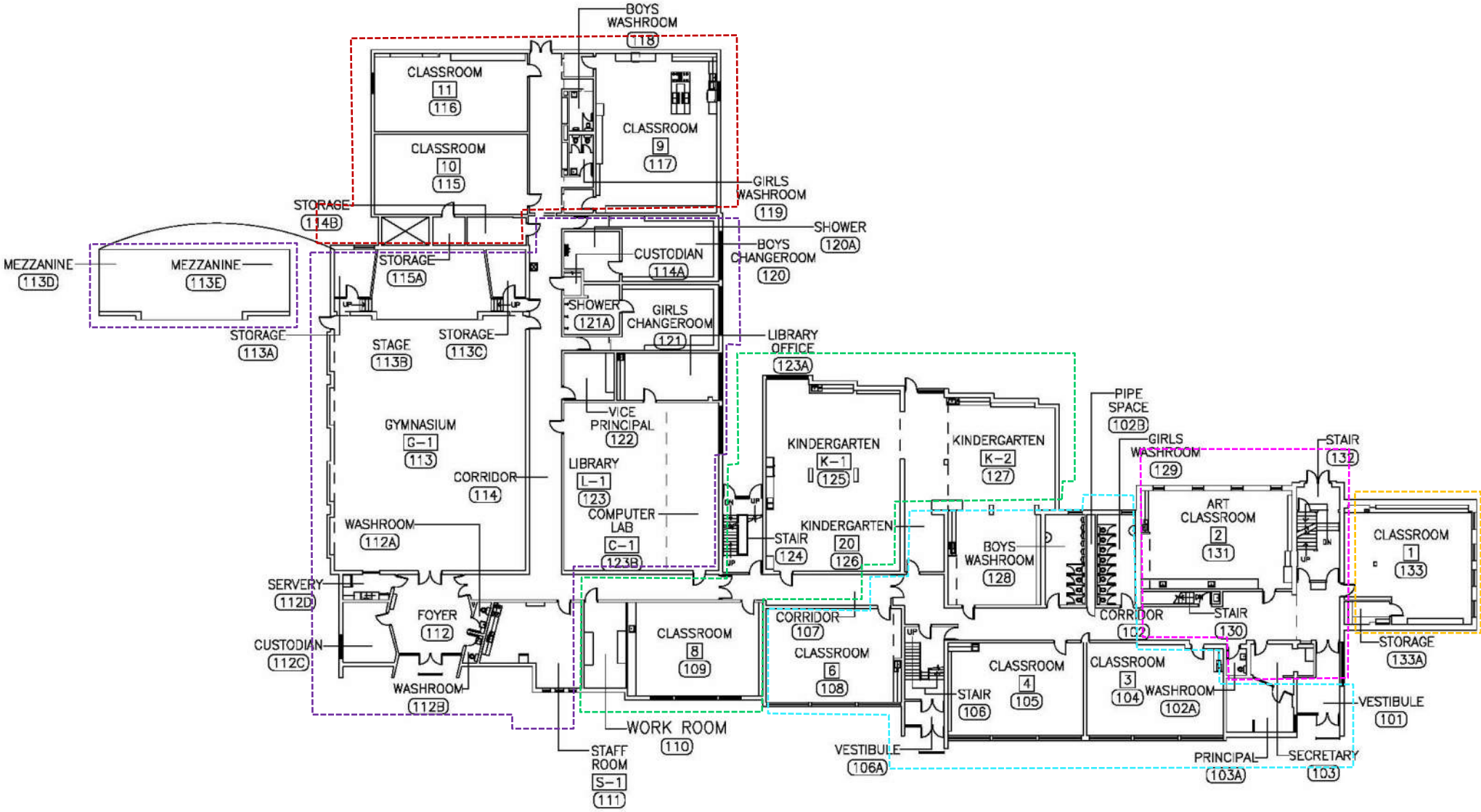


Plate 76: First Floor Plan of 132 College Street

4.2.4.2 Second Floor

The second floor of 132 College Street includes sections of the 1885/1887 original school and 1921/1924 1959, and 1967 additions. A floor plan showing the layout of the first floor is provided in Plate 79. The second floor has eight classrooms, two corridors, and four sets of stairs. Items with potential movable cultural heritage value on the second floor include chalkboards (where extant). Original architectural finishes related to the 1885/1887 school include the moulded window surrounds in classroom 217 (Plate 77 and Plate 78).



Plate 77: Black board in a second-floor classroom



Plate 78: Original moulded window surrounds in classroom 217

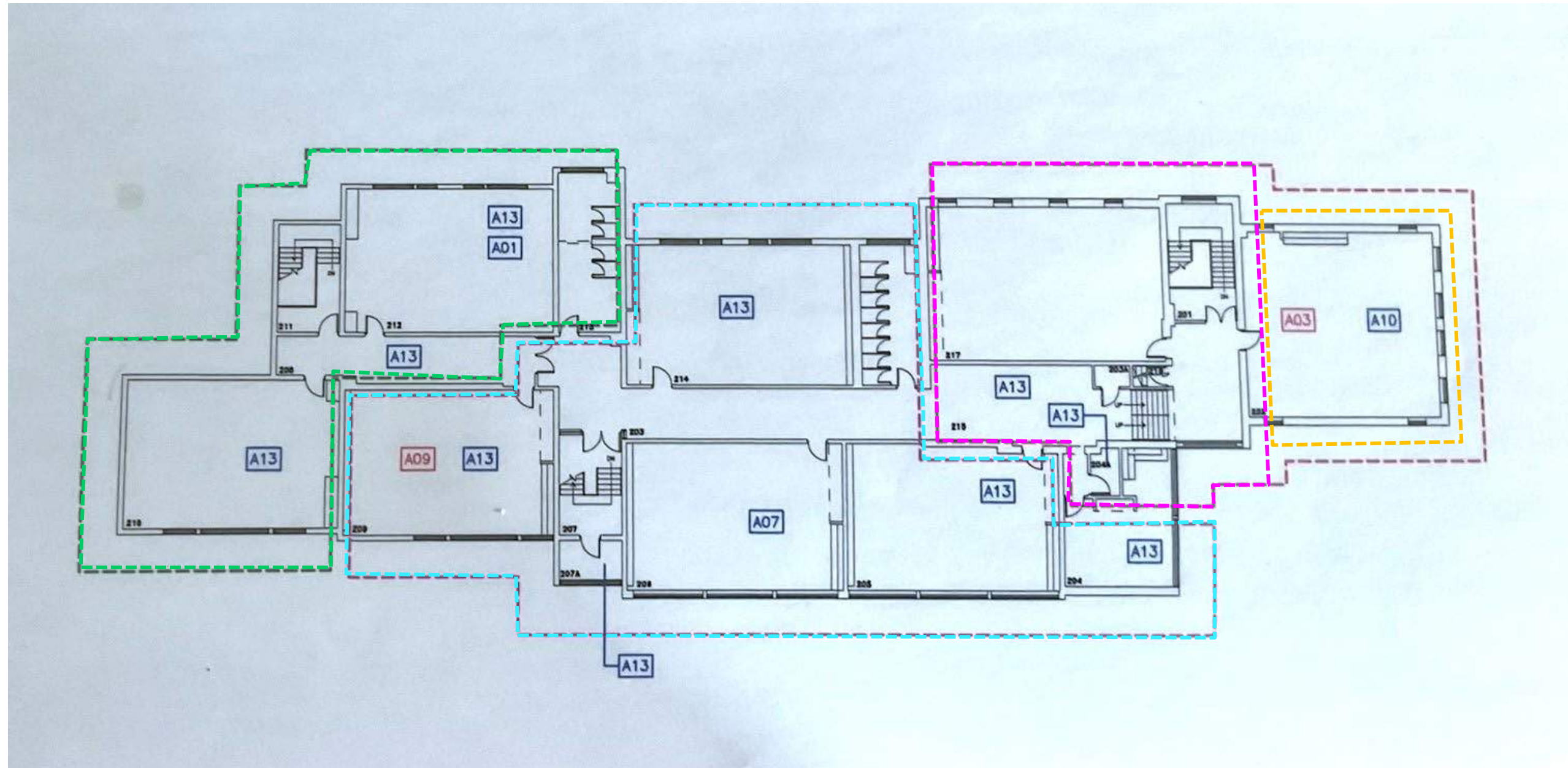


Plate 79: Second Floor Plan of 132 College Street

4.2.4.3 Third Floor

The third floor is accessed via a set of stairs on the second floor of the 1885/1887 section of the building. A floor plan of the third floor is provided in Plate 82. The third floor consists of a single room that was likely used for storage. Original remaining architectural finishes on the third floor include windows with segmentally arched openings and wood surrounds (Plate 80 and Plate 81).



Plate 80: Original window and wood surround on the third floor



Plate 81: Original window and moulded wood surround on the third floor

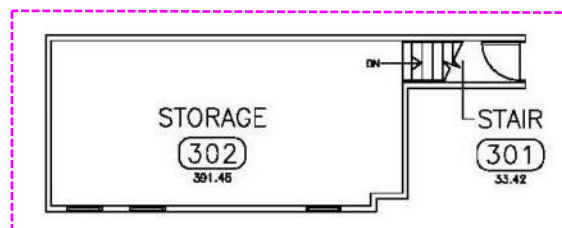


Plate 82: Third Floor Plan of 132 College Street

4.2.4.4 Basement

The school has two separate basements that are associated with different periods of construction. A floor plan of the basement is provided in Plate 88. The original basement is associated with the 1885/1887 and 1921/1924 sections of the building and includes two mechanical rooms, a water tank room, a custodian room, and three storage rooms.

The second basement is associated with the 1967 addition of the school. This section of the basement

includes a classroom, storage room, corridor, and stairwell.

Notable building elements related to the 1885/1887 and 1921/1924 sections of the building are present in the first basement. These include: stone foundations, a large red fire door stamped with '*Thos Irwin & Son Limited. Mfors. Hamtilton Ontario*', railings in stair 001, and bricks in the storage rooms that have been etched with student graffiti (Plate 83 to Plate 87).



Plate 83: Detail of stone foundations in the 1885/1887 section of the basement



Plate 84: Detail of stamp on the red fire door in the 1885/1887 section of the basement



Plate 85: Red fire door



Plate 86: Railings of stair 001

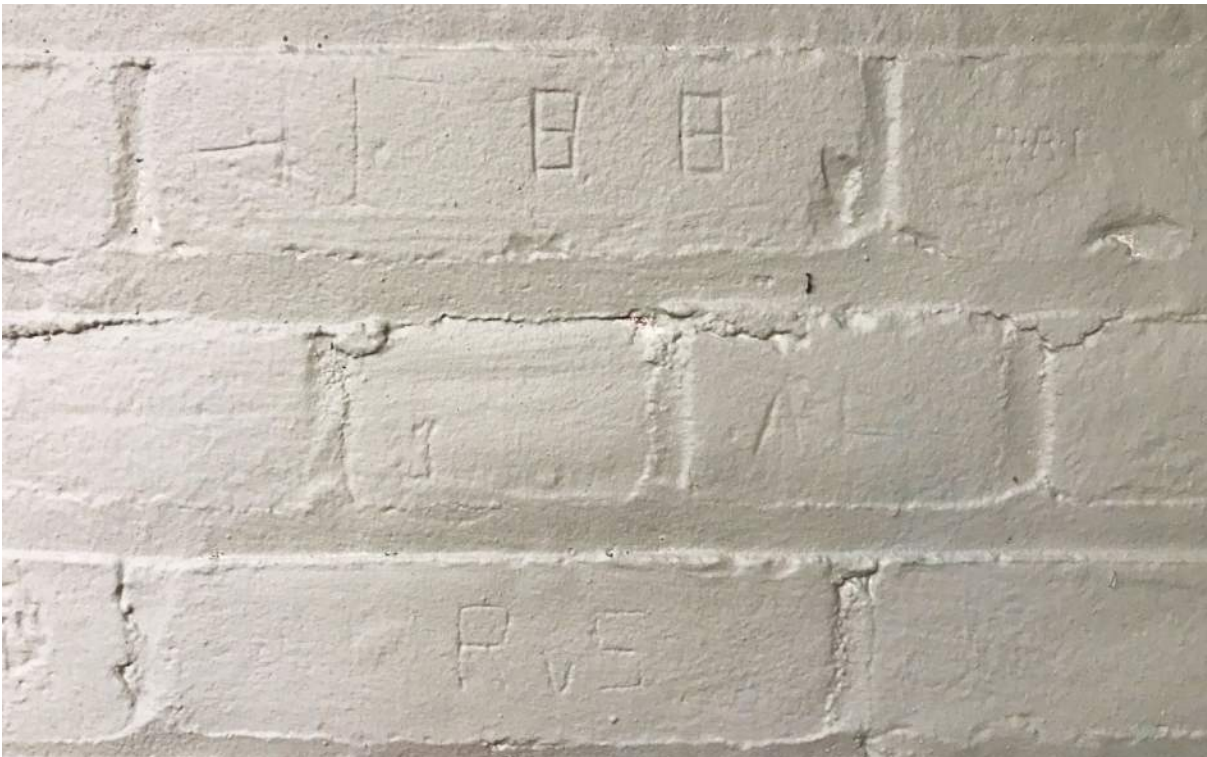


Plate 87: Example of etched student graffiti found in the storage rooms of the 1921/1924 section of the basement

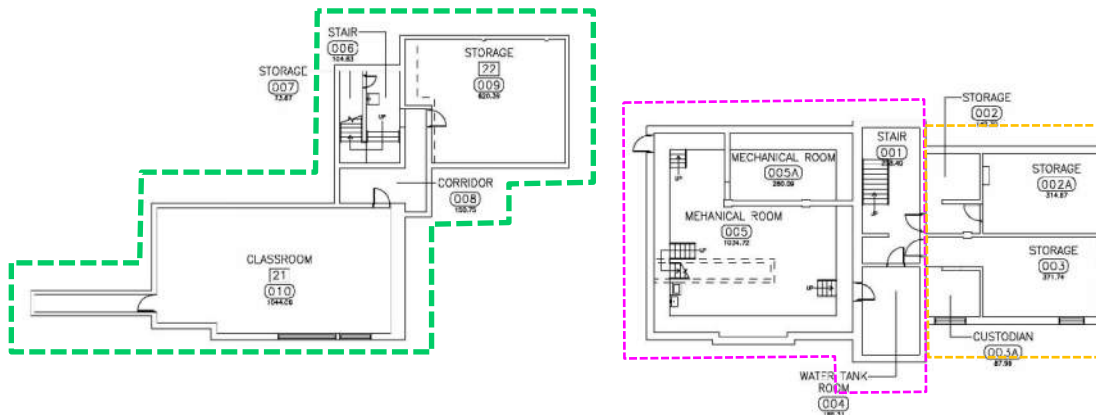


Plate 88: Floor Plan of Basement at 132 College Street

4.2.5 Analysis of Physical Conditions and Heritage Integrity

4.2.5.1 Physical Condition

Table 3 provides a summary of the physical conditions of the Study Area using criteria adapted from a checklist developed by Historic England (Watt 2010: 365-361) and list in Fram's 2003 *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice For Architectural Conservation*. Note that these observations are based on surficial inspection only and should not be considered as a structural engineering assessment.

Table 3: Analysis of Physical Conditions

Element	Observed Conditions
General Structure	<ul style="list-style-type: none"> Original 1885-1887 structure obscured on three elevations by the 1921/1924, and 1959 building additions The overall building, inclusive of the original school and all additions, appears to be in good-to-fair condition. Water damage was observed in the second-floor classroom of the original 1885/1887 section of the building.
Roof	<ul style="list-style-type: none"> Roofing appears to be in good condition for all building sections Aluminium caps on fascia and soffits of original structure with original wooden modillions
Rainwater Disposal	<ul style="list-style-type: none"> All gutters appear to be in good condition
Exterior Elements (Walls/Foundations/Chimneys etc)	<ul style="list-style-type: none"> Exterior walls in good condition though there is obvious distinction between the various additions
Windows and Doors	<ul style="list-style-type: none"> Windows and doors appear to be in good condition. Windows and doors are generally new/replaced except for the fire door and storage room doors in the 1885/1887 and 1921/1924

Element	Observed Conditions
	basement observation consistent with DSBN report that claims that indicate the windows and doors were replaced between 2009 and 2010 (Appendix C)
Internal Roof Structure/Ceiling	<ul style="list-style-type: none"> Physical condition of internal roof structure unknown as it is covered by lightweight panels Water damage observed in the second-floor classroom of the 1885/1887 section of the building
Floors	<ul style="list-style-type: none"> Floors appear to be in relatively good condition. All floors are new/replaced. Some evidence of water damage noted in second level 1885/1887 classroom.
Stairways/Galleries/Balconies	<ul style="list-style-type: none"> Stairways appear to be in good condition Mix of original wood railings and later metal style railings
Interior Decorations/Finishes	<ul style="list-style-type: none"> Interior finishes appear to be in good condition. All interior decoration/finishes appear to be new/replaced. Few to no interior finishes relating to the 1885/1887 or 1921/1924 building sections remain.
Fixtures & Fittings	<ul style="list-style-type: none"> Fixtures and fittings appear to be in working condition. All are new/replaced.
Building Services	<ul style="list-style-type: none"> Services appear to be active
Site & Environment	<ul style="list-style-type: none"> Property appears to be well maintained and in overall good condition
General Environment	<ul style="list-style-type: none"> Overall good condition

4.2.5.2 Heritage Integrity

In the 2006 *Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities*, the MHSTCI stresses that a property need not be in its original condition to have CHVI though stresses the concept of integrity:

"Integrity is a question of whether the surviving physical features (heritage attributes) continue to represent or support the cultural heritage value or interest of the property."

(MHSTCI 2006b: 26)

The MHSTCI further expands on this concept in their 2014 *Standards and Guidelines for Conservation of Provincial Heritage Properties, Heritage Identification & Evaluation Process* which builds on its description of integrity to encompass landscape features and references the *Ontario Heritage Tool Kit* and the 2008 *US National Park Service Info Bulletin: VIII. How to Evaluate the Integrity of a Property* as potential guidance documents (MHSTCI 2014; USDI 2008). The latter source identifies integrity as *"the ability of a property to convey its significance"* (2018: 1-2) and defines this within the seven aspects of integrity: 1) Location, 2) Design, 3) Setting, 4) Materials, 5) Workmanship, 6) Feeling, and 7) Association. Based on this definition integrity can only be judged once the significance of a place is known (USDI 2008: 1-2). Other guidance documents reviewed as part of this assessment define integrity as the "wholeness" or "honesty" of a site and examines the subsequent effects of time and change on the sites cultural heritage value (Drury and

McPherson 2008: 45).

With the above in mind and using Kalman's 1979 *Evaluation of Historic Buildings* criteria for "Integrity" ("Site", "Alterations", and "Condition") the Study Area's level of heritage integrity is analysed in Table 4. This analysis was also considered when evaluating the Study Area for CHVI. The associated survival percentage and rating is based on the following scale:

- Poor = 0-20%
- Fair = 21-40%
- Good = 41-60%
- Very Good = 61-80%
- Excellent = 81-100%

Table 4: Analysis of Heritage Integrity

Element	Original Material/Type	Alteration	Survival (%)	Rating	Comment
Setting	Property located within the suburban community of Smithville, bounded by Morgan Street on the north, residential properties on the east and south, and College Street on the west	Multiple additions on the original structure extending north and south along College Street and Morgan Avenue	70	Very Good	Generally speaking, the property retains it suburban setting within the community of Smithville though its associated footprint has significantly expanded as a result of 20th century community growth
Site Location	Set back from Morgan Street by approximately 15m	Multiple additions on the original structure extending north and south along College Street and Morgan Avenue	50	Good	While the location of the original structure remains the same the primary access point has been significantly altered where the original front façade is no longer visible from the ROW
Footprint	Original structure has a square footprint	Multiple additions on the original structure (1921/1924, 1959, 1967, 1969, and 1972)	5	Poor	Only the east elevation of the original school building retains a predominantly unaltered façade
Wall	Original structure clad in red brick laid out in stretcher bond patterns	The 20th century additions employ the use of red brick/red brick veneer on the exterior of building intermixed with stucco and precast concrete block foundations	20	Fair	The use of brick veneer on the exterior of the structure creates a visual distinction of the original and later additions though obscured from the ROW
Foundation	Original structure employed the use of stone foundations which are still visible in the basement	Subsequent 20th century additions employed the use of precast concrete blocks	5	Poor	Original foundations largely obscured or replaced by later concrete blocks
Exterior Doors	Unknown	All doors replaced between 2009/2010 as indicated by the District School Board of Niagara (DSBN 2014) in Appendix C	0	Poor	No additional comments
Windows	Unknown	<ul style="list-style-type: none"> Some windows retain original interior trim Multiple 20th century windows made of metal/synthetic material and several original windows bricked over to create blind windows Windows replaced between 2009/2010 as indicated by DSBN (2014) in Appendix C 	5	Poor	No additional comments
Roof	Truncated	<ul style="list-style-type: none"> Original roof structure is retained though as indicated by the DSBN (2014) in Appendix C at least portions of the roof material were replaced in 2012 Later additions implemented the use of a flat roof 	5	Poor	No additional comments
Chimneys	n/a	n/a	n/a	n/a	No additional comments
Water Systems	Unknown	Appear to have been replaced in 20th century	0	Poor	No additional comments
Exterior Decoration	Original structural elements including multi-panel segmental windows with segmentally arched brick voussoirs and stone lintels, the third-floor semi-circular dormer with round four light window decorative wooden brackets	<ul style="list-style-type: none"> Minimal elements of original western façade retained as a result of the 1959 addition Northern and southern facades of the original structure are non-existent 	20	Poor	Elements of exterior decoration remain though they are largely obscured by 20th century additions
Exterior Additions	Original structure building in 1885-1887	Several additions in the 20th century: <ol style="list-style-type: none"> 1) 1921/1924 2) 1959 3) 1967 4) 1969 	5	Poor	Core of original structure maintained though only the east elevation. All other building elevations of the original school are not visible due to the additions

Element	Original Material/Type	Alteration	Survival (%)	Rating	Comment
		5) 1972			
Interior Plan	Core structure consisted of a square floor plan	While the core structure is identifiable the multiple additions on the original structure have resulted in an irregular plan	5	Poor	No additional comments
Interior Walls/Floors	Mosaic tiling and laminate flooring depicted the third floor of the building	Some original material remains but the majority was added in the 20th century and as indicated by the district school board of Niagara in Appendix C the hallway flooring was replaced in 2015	5	Poor	No additional comments
Interior Trim	Wood trim utilized in third floor storage room of original structure	Some original material remains but the majority was added in the 20th century	5	Poor	No additional comments
Interior Features	Moulded window/ doorways trim, wooden stairway handrails	Majority of original materials removed or altered during 20th century additions	5	Poor	Original elements include: <ul style="list-style-type: none">• Moulded window trim from all floors of original structure• Original windows/baseboard trim from third floor storage room• Decorative mosaic tiling on third floor storage room steps• Original wooden handrails/box newel posts, balustrades and decorative skirtboard
Landscape features	School yard with play areas	Replaced/updated multiple times throughout 20th-21st centuries including a playground surface reconstruction in 2007 as indicated by the DSBN (2014) in Appendix C; retains utilization as a play area	50	Good	While the properties landscape features have been altered and updated as indicated in the historic aerials it retains the same utilization and general footprint as a school yard
Average of Rate of Change/Heritage Integrity			16	Poor	Rating of poor is based on original element survival rating between 0-20%

4.2.5.2.1 Results

Based on the analysis of physical conditions and heritage integrity presented in Table 3 and Table 4, it was found that the Study Area is in fair-to-good physical condition but has a poor level of heritage integrity. The poor level of heritage integrity is a direct result of the 1921/1924, 1959, 1967, 1969, and 1972 building additions that have largely obscured and physically altered the original 1885/1887 school building. Only the rear (east elevation) of the original structure is relatively intact.

5.0 Evaluation of Cultural Heritage Value or Interest

5.1 Ontario Regulation 9/06

The criteria for determining CHVI of a property at a local level are set out in O. Reg. 9/06 of the *Ontario Heritage Act*. A property may be worthy of designation under the *Ontario Heritage Act* if it meets one or more of criteria of O. Reg. 9/06.

5.2 Evaluation of the Study Area

The College Street Public School was evaluated using the criteria for CHVI prescribed in O. Reg. 9/06. Table 5 provides a summary of the evaluation, and a detailed evaluation is provided below.

Table 5: Evaluation of Cultural Heritage Value or Interest of 132 College Street		
The property has design value or physical value because it:	Is a rare, unique, representative or early example of a style, type, expression, material or construction method	×
	Displays a high degree of craftsmanship or artistic merit	×
	Demonstrates a high degree of technical or scientific achievement.	×
The property has historical value or associative value because it:	Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	✓
	Yields or has the potential to yield, information that contributes to an understanding of a community or culture	×
	Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	×
The property has contextual value because it:	Is important in defining, maintaining or supporting the character of an area	×
	Is physically, functionally, visually or historically linked to its surroundings	×
	Is a landmark	×

5.2.1 Design Value or Physical Value

The building in the Study Area is a two-storey school with an irregular shaped plan. The footprint of the original 1885-1887 schoolhouse is distinguishable on the rear facade (east elevation) but it is largely obscured or replaced as a result of the multiple 20th century additions from 1921/1924, 1959, 1967, 1969 and 1972. While some original design elements survive, these finishes are not unique or unusually well made for the period of construction and are limited to the details of the rear façade (east elevation) and minor/remnant interior finishes from the 1885-1887 original construction such as original window trim

and mouldings. Therefore, based on the above it was determined that the integrity of the surviving physical features have been compromised to the point where the structure no longer represents a rare or unique representative of the original late 19th century school and does not demonstrate a high degree of craftsmanship or artistic merit.

Additionally, due to the 20th century additions, the structure as a whole is no longer distinguishable as a representative example of a late 19th century schoolhouse. Nor is its design rare or unique and no building elements were noted that demonstrate a high degree of technical or scientific achievement.

Based on the above discussion, it is concluded that the 132 College Street does not meet criterion 1 (i-iii) of O. Reg. 9/06 and does not have design value or physical value.

5.2.2 Historical Value or Associative Value

The Study Area, also known as College Street Public School, is located within the community of Smithville in the Township of West Lincoln. The structure which was originally built between 1885 and 1887 as Smithville's first high school. As the first of its kind in the area, students from other counties paid fees to attend the high school and were billeted in the Township during the school week.

During the 20th century College Street Public School was altered by large additions built in 1921/1924, 1959, 1967, 1969 and 1972 completed to accommodate Smithville's growing population. By 1954, a new high school was constructed in Smithville and the Study Area became a primary school.

While the school has since closed, the property has direct association as an institution (elementary and high school) the reflects the themes of and development of rural education in Ontario from the late 19th century to late 20th century. This is reflected by the retention of moveable school artifacts, equipment, and furniture that demonstrate the use of this property as a school. Specifically, the school crest in the gymnasium, lectern with school crest on the stage, plaques, signs, and brick with etched student graffiti reflect the long-standing use of this property as a school. In addition, isolated building elements remain that date to the 1885/1887 or 1921/1924 periods of construction that are examples of historical school interior finishes. These included the moulded window trim in the 1885/1887 classrooms, windows on the third floor, oval window in the attic, and railings in stair 001/132/201.

Based on the above discussion, it is concluded that 132 College Street meets criterion 2.i of O. Reg. 9/06 and has historical/associative value.

5.2.3 Contextual Value

The neighbourhood character surrounding the school is a mix of residential and commercial properties that date to the mid-to-late 20th century. There are isolated properties with potential heritage value in the vicinity of the school, but these do not form a cohesive historical neighbourhood. The original 19th century core of the school is not visible from College Street except for a small section of the roof line that is visible behind the 1959 addition on the west elevation. Given the mixed character of the surrounding neighbourhood and the highly altered physical condition of the school, it was found that 132 College Street does not define, maintain, or support the character of the area.

The school is not physically, functionally, visually, or historically linked to its surroundings. While 132 College Street was used as a school since the late 19th century to the 21st century, the historical character of the school is largely obscured by the later additions added to the west, north, and south elevations of the building. There are no known material connections to the broader context that signify a significant

physical connection and the property no longer functions as a school since it is no longer in operation as a public school. There are no known visual connections between the school and surrounding context that were noted through background research, community consultation, or during the field review. Finally, the historical character of the school is best captured through historical/associative value and the specific items of school memorabilia contained in the school rather than the historical context of the property and school building itself.

The property is not known to act as a landmark given its location on a side street, relatively low building profile, and the multiple 20th century additions that obscure the 1885/1887 original core of the school from College Street and Morgan Avenue.

Based on the above discussion, it is concluded that the 132 College Street does not meet criterion 3. (i-iii), of O. Reg. 9/06 and does not have contextual value.

5.2.4 Summary

Based on a review of background documents, community engagement and property inspection it was determined that the Study Area meets one criterion (historical/associative value) for CHVI at a local level.

5.3 Statement of Cultural Heritage Value or Interest

5.3.1 Description of the Property

The former College Street Public School at 132 College Street in the community of Smithville in the Township of West Lincoln was originally constructed between 1885-1887 then altered through multiple 20th century additions. Associated with the school building are a grounds covering 1.81 hectares that includes recreational yards and sports fields.

5.3.2 Statement of Cultural Heritage Value or Interest

The historical or associative value of the College Street Public School property lies its direct association with an important educational institution in the community, specifically as Smithville's first high school. It's value is also for its direct association with the theme of development of rural education from the late 19th century to late 20th century. As a principal school in the Township it drew students from a large rural area including Welland and Haldimand, and over its long history required continual expansion and modification to address the growing population.

5.3.3 Heritage Attributes

Heritage attributes that contribute to the **historical/associative value** of the property:

- Building components that date to the 1885/1887 or 1921/1924 sections of the school:
 - Interior Moulded wood window trim in the 1885/1887 first and second floor classrooms
 - Wood frame windows with moulded surrounds on the third floor
 - Oval window with four lights located on the front façade (west elevation) of the 1885/1887 roof
 - Railings with wood handrails and metal box newel posts/balustrades in stair 001/132/201
 - Red fire door with manufacturers stamp in the 1885/1887 section of the basement
 - Bricks with etched student graffiti in the storage rooms of the 1921/1924 section of the basement
- Moveable material culture that speaks to the school's history including:
 - School crest in gymnasium
 - Wood lectern with school crest in the gymnasium
 - Wood mail cubby in the staff room
 - Slate chalkboards throughout the school
 - Commemorative plaques on the first floor
 - Framed qualities in reference to the schools 'Simpson Junior Sportsmanship Trophy'
 - School banners
 - 'Great Things Are Happening At College St.' sign in the foyer
 - Intercom system

6.0 Impact Assessment

The Client intends to develop the entire Study Area for 138 mixed-use units. The design plans for this development are provided in Appendix E and though conceptual are sufficient to identify the potential impacts. This assessment considers two categories of impacts:

- **Direct Impact:** A permanent or irreversible negative affect on the CHVI of a property that results in the loss of a heritage attribute. Direct impacts include destruction or alteration.
- **Indirect Impact:** An impact that is the result of an activity on or near a cultural heritage resource that may adversely affect the CHVI and/or heritage attributes of a property. Indirect impacts include shadows, isolation, direct or indirect obstruction of significant views or vistas, a change in land use, or land disturbances.

It should be noted that land disturbances, as defined in MHSTCI *InfoSheet #5*, apply to archaeological resources. An archaeological assessment is beyond the scope of this study since recommendations regarding archaeological resources must be made by a professional archaeologist licensed by the MHSTCI. An archaeological assessment for this project has been undertaken under separate cover.

6.1 Description of the Proposed Work

It is Wood's understanding that the proposed development will consist of 12 townhouses fronting on Morgan Avenue, 6 live/work units fronting on College Street, and 120 stacked townhouses in the interior of the lot as depicted in the conceptual drawings provided in Appendix E.

6.2 Assessment of Potential Impacts

An impact assessment to evaluate the potential impacts of the property is contained in Table 6. The impact assessment is based on the conceptual drawings contained in Appendix E.

Table 6: Assessment of Impacts

Impact Example	Impact Assessment
Direct Impacts	
Destruction of any, or part of any, significant heritage attributes or features.	<p>The proposed development will result in the destruction of the entire building and alteration of all landscape components within the Study Area that without mitigation will have a negative effect on the CHVI of the property.</p> <p>Implementation of the mitigation measures recommended in this report, including but not limited to salvage of heritage attributes and commemoration will reduce negative impacts to the CHVI of the property. This salvage provides the most feasible option to conserve the CHVI of the property despite the demolition of non-contributing built and landscape elements within the property.</p>
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	The direct impacts to 132 College Street are related to the destruction of the school building and landscape elements to clear the site for new development. Accordingly, no direct impacts related to alteration are noted.
Indirect Impacts	
Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.	No natural heritage features such as a garden or plantings were noted as heritage attributes of the property. Accordingly, no shadow related impacts are anticipated.
Isolation of a heritage attribute from its surrounding environment context or a significant relationship.	The CHVI and heritage attributes of this property are not related to their connection with the surrounding environment. Therefore, no negative impact is anticipated.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.	No significant views or vistas have been identified as a heritage attributes contributing to the CHVI of the property. As such, no indirect impact is anticipated.
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site	Although the Study Area is already zoned for High Density Residential, the change from institutional to residential would have an indirect negative impact on the CHVI as identified. This is addressed by Recommendation 2.

Impact Example	Impact Assessment
alteration to fill in the formerly open spaces.	
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.	The proposed mix-used land development will result in land disturbance within the property. However, no risks to the CHVI of the property related to drainage are noted. In addition, the consideration of archaeological resources is beyond the scope of the CHIA.

6.3 Summary of Potential Impacts

The proposed mixed-use land development will result in destruction and widespread alteration of the Study Area and change the land use from educational/institutional to a mixed residential/commercial. The development plan includes the demolition of the school and removal of landscape features. Table 6 outlined the potential impacts to 132 College Street posed by the proposed developments and identifies that the impacts will be mitigated by the recommendations contained in Section 8.0 of this report.

7.0 Consideration of Alternatives and Mitigation Measures

The impact assessment identified the potential for direct adverse impacts to the CHVI and heritage attributes of the Study Area. Accordingly, considered alternatives and mitigation measures have been developed using MTSCI InfoSheet#5 of the Ontario Heritage Tool Kit and Section 8 of the Township of West Lincoln Official Plan. These include:

- 1) "Do Nothing" or preserve and maintain the heritage property by avoiding impacts to the heritage attributes.
- 2) Rehabilitate and restore the schoolhouse for adaptive reuse within the new development in its current location.
- 3) Relocate the school to a new location within the proposed development and rehabilitate it for adaptive reuse including the restoration of architectural features consistent with the original structure's late 19th century Italianate and second empire architectural influences.
- 4) Salvage and document notable heritage artifacts that contribute to the CHVI of the property for donation during and Consult with the Township of West Lincoln during detailed design, regarding the potential inclusion and development of commemorative plaques or place naming strategies within the new development.

7.1 Option 1: Do Nothing

"Do Nothing" or preserve and maintain the heritage property by avoiding impacts to the heritage attributes.

Advantages: The approach adheres to the conservation principle of minimal intervention. This approach allows for the property to retain its heritage attributes in situ and preserves the integrity and authenticity of the resource.

Disadvantages: The school is currently unused and without intervention its structures could fall into disrepair and its heritage attributes could rapidly deteriorate. While the school is in good condition, its heritage integrity has been compromised by extensive additions and significant repairs/restoration would be required to preserve and maintain its CHVI. This option also does not serve to meet the provincial and municipal targets for new residential/commercial mixed land use development which will allow more people to live in downtown Smithville (McDonald 2020).

This option is not feasible because:

- Extensive capital investment would be required to preserve, maintain, and repair the school.

7.2 Option 2: Rehabilitation

Rehabilitate and restore the schoolhouse for adaptive reuse within the new development in its current location.

Advantages: This approach would conserve the identified heritage attributes in their current location within the property.

Disadvantages: Conserving the heritage attributes in their current location would constrain the surrounding development. Furthermore, the heritage integrity of the original structure has been severely compromised by various 20th century additions including the removal of three original facades to the point where the changes required to rehabilitate the school in situ to its original 19th century structure would be extremely costly and would depend on an incomplete record of original materials that would reduce its historical authenticity and constitute an adverse effect on its CHVI.

This option is not feasible because:

- The extensive change required to rehabilitate the school would substantially reduce its heritage integrity and authenticity.
- The spatial configuration of the heritage attributes is not key to the CHVI of the property. Therefore, the detrimental effects to the proposed development posed by this option are disproportionate to any benefits gained through full rehabilitation.
- It assumes that the core of the original structure has sufficient 19th century fabric to be rehabilitated; the field review indicates that the later additions have created large breaches and removed large sections of original masonry.

7.3 Option 3: Relocation

Relocate the school to a new location within the proposed development and rehabilitate it for adaptive reuse.

Advantages: This option would conserve the physical connection of the school to its original land parcel, while adaptive reuse and reconfiguration of the building in the new development would increase appreciation of its attributes for a wider public, thereby enhancing appreciation and understanding of the Township's heritage.

Disadvantages: Relocating the school is in opposition to MHSTCI *Guiding Principle* for "original location". This principle states that buildings should not be moved "unless there is no other means to save them since any change in site diminishes heritage value considerably". This option could result in total loss of CHVI if an accident occurs during the process or planning is insufficient.

Furthermore, the integrity of the original structure has been severely compromised by various 20th century additions including the removal of three original facades to the point where the changes required to rehabilitate and relocate would be extremely costly and it would require a dependency on an incomplete record of original materials that would ultimately reduce its historical authenticity and constitute an adverse effect on its CHVI.

This option is not feasible because it:

- The extensive change required to relocate the school would substantially reduce its heritage integrity and authenticity.
- It assumes that the core of the original structure has sufficient 19th century fabric to be rehabilitated; the field review indicates that the later additions have created large breaches and removed large sections of original masonry.

7.4 Option 4: Salvage & Commemoration

Salvage and document notable heritage artifacts that contribute to the CHVI of the property for donation during and consult with the Township of West Lincoln regarding the potential inclusion and development of commemorative plaques or place naming strategies within the new development.

Advantages: This option would conserve the historical connection of the school to its community original land parcel while salvage of notable artifacts would retain some physical link to the school's intangible historical or associative value. This option is both cost effective and acknowledges the school's historical importance within the community.

Disadvantages: Destruction of the school would remove all CHVI and heritage attributes from the Study Area. Even if some materials are salvaged, there is potential that their connection with the school and its historical or associative value will eventually be lost.

Despite the disadvantages, this option is the most feasible because it:

- Maintains linkages with the Study Area's intangible heritage values
- Establishes a connection with the site into the evolving contemporary community in a way that will encourage understanding and appreciation of the community's early educational heritage

8.0 Recommendations

This CHIA has concluded that 132 College Street has historical/associative value per the criteria contained in O. reg. 9/06 of the *Ontario Heritage Act*. Furthermore, this CHIA also concluded that the heritage integrity of the original 1885/1887 school has been severely compromised and that the CHVI of the property can be best mitigated through a commemoration and salvage conservation approach (Option 4).

This option helps to conserve the historical association of the school to its community/original land parcel and allows for the enhanced appreciation of the intangible heritage linked to the materials while also promoting a pedestrian oriented community.

To conserve the CHVI and heritage attributes of the Study Area, Wood makes the following recommendations:

1. Consult with the Township of West Lincoln, regarding the following:
 - a. Documentation and/or salvaging of the following materials for donation or as a commemorative features within the new development or for display in a local museum/archive:
 - i. Building components that date to the 1885/1887 or 1921/1924 sections of the school:
 - Interior Moulded wood window trim in the 1885/1887 first and second floor classrooms
 - Wood frame windows with moulded surrounds on the third floor
 - Oval window with four lights located on the front façade (west elevation) of the 1885/1887 roof
 - Railings with wood handrails and metal box newel posts/balustrades in stair 001/132/201
 - Red fire door with manufacturers stamp in the 1885/1887 section of the basement
 - Bricks with etched student graffiti in the storage rooms of the 1921/1924 section of the basement
 - ii. Moveable material culture that speaks to the school's history including:
 - School crest in gymnasium
 - Wood lectern with school crest in the gymnasium
 - Wood mail cubby in the staff room
 - Slate chalkboards throughout the school
 - Commemorative plaques on the first floor
 - Framed qualities in reference to the schools 'Simpson Junior Sportsmanship Trophy'
 - School banners
 - 'Great Things Are Happening At College St.' sign in the foyer
 - Intercom system
 - b. Potential inclusion and development of commemorative plaques or place naming strategies.

9.0 Assessor Qualifications

This report was prepared and reviewed by the undersigned, employees of Wood. Wood is one of North America's leading engineering firms, with more than 50 years of experience in the earth and environmental consulting industry. The qualifications of the assessors involved in the preparation of this report are provided in Appendix F.

10.0 Closure

This report was prepared for the exclusive use of the 2853972 Ontario Ltd c/o Phelps Homes Ltd. and is intended to provide a Cultural Heritage Impact Assessment of the Study Area. The Study Area at 132 College Street consists of a former Public School with an irregular floor plan located at the corner of College Street and Morgan Avenue.

Any use which a third party makes of this report, or any reliance on or decisions to be made based on it, are the responsibility of the third party. Should additional parties require reliance on this report, written authorization from Wood will be required. With respect to third parties, Wood has no liability or responsibility for losses of any kind whatsoever, including direct or consequential financial effects on transactions or property values, or requirements for follow-up actions and costs.

The report is based on data and information collected during the cultural heritage assessment conducted by Wood. It is based solely a review of historical information, a property reconnaissance conducted on April 14, 2022, and data obtained by Wood as described in this report. Except as otherwise maybe specified, Wood disclaims any obligation to update this report for events taking place, or with respect to information that becomes available to Wood after the time during which Wood conducted the cultural heritage assessment. In evaluating the Study Area, Wood has relied in good faith on information provided by other individuals noted in this report. Wood has assumed that the information provided is factual and accurate. In addition, the findings in this report are based, to a large degree, upon information provided by the current owner/occupant. Wood accepts no responsibility for any deficiency, misstatement or inaccuracy contained in this report as a result of omissions, misinterpretations or fraudulent acts of persons interviewed or contacted.

Wood makes no other representations whatsoever, including those concerning the legal significance of its findings, or as to other legal matters touched on in this report, including, but not limited to, ownership of any property, or the application of any law to the facts set forth herein. With respect to regulatory compliance issues, regulatory statutes are subject to interpretation and change. Such interpretations and regulatory changes should be reviewed with legal counsel.

This report is also subject to the further Standard Limitations contained in Appendix G. We trust that the information presented in this report meets your current requirements.

Should you have any questions, or concerns, please do not hesitate to contact the undersigned.

Respectfully Submitted,

**Wood Environment & Infrastructure,
a Division of Wood Canada Limited**

Prepared By:



Chelsea Dickinson, B.A. Hons. (R1194)
Cultural Heritage Specialist

Prepared By:



Heidi Schopf, MES, CAHP
Built and Landscape Heritage Team Lead

Reviewed By:



Henry Cary, PhD, CAHP, RPA
P327 Senior Staff Archaeologist

11.0 Sources

Archaeological Services Inc. (ASI) and Letourneau Heritage Consulting Inc. (LHC)

2021 *Niagara Region Archaeological Management Plan: Phase 5 Report – DRAFT*. August 20, 2021.

Boerema Gerritt

2022 Planner II at the Township of West Lincoln. Email correspondence record entitled '*Early History of South Lincoln High school by Willard Lane*', via email. April 19, 2022.

Brock University

2016a Niagara Air Photo Collection. [Niagara Air Photo Digital Images 2000 Mosaic]. Available online: <https://www.arcgis.com/apps/webappviewer/index.html?id=33873be71555423db62472eebf317042>. Last accessed May 17, 2022.

2016b Niagara Air Photo Collection. [Niagara Air Photo Digital Images 2018 Mosaic]. Available online: <https://www.arcgis.com/apps/webappviewer/index.html?id=33873be71555423db62472eebf317042>. Last accessed May 17, 2022.

Canada's Historic Places

2010 *Standards and Guidelines for the Conservation of Historic Places in Canada*. Available online: <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>. Last accessed May 31, 2022.

Canadian Department of Agriculture

1935 *Soil Survey of Lincoln County, Ontario*. Soil Survey Report No. 34. Prepared jointly by the Research Branch, Canada Department of Agriculture and the Ontario Agricultural College. Available online: <https://sis.agr.gc.ca/cansis/publications/surveys/on/on34/index.html>. Last accessed May 17, 2022.

Carrol John

1867 *Case and His Contemporaries; or the Canadian Itinerant's Memorial Constituting a Biographical History of Methodism in Canada*. Vol. 1. Published by Samuel Rose, Wesleyan Printing Establishment.

Carter, Floreen Ellen

1984a *Place Names of Ontario, Volume 1*. Phelps Publishing, London.

1984b *Place Names of Ontario, Volume 2*. Phelps Publishing, London.

Chapman, L.J. and D. F. Putnam

1984 *The Physiography of Southern Ontario. Second Edition*. Ontario Geological Survey, Special Volume 2. Ontario Ministry of Natural Resources, Toronto University Press, Toronto.

Drury, Paul and Anne McPherson

2008 *Conservation Principles Policies and Guidance for the Sustainable Management of the Historic Environment*. English Heritage

Ellis, Chris J and Neal Ferris, eds.

1990 The Archaeology of Southern Ontario to A.D. 1650. London Chapter OAS, London, Ontario.

Engelbrecht, William

2003 Iroquois: The Development of a Native World, Syracuse University Press; Annotated Addition

Frams Mark

2003 Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation. Boston Mills Press.

Geographical Section, General Staff, Department of National Defence

1929 Grimsby, Ontario. 1:63,360. Map Sheet 030M04, [ed. 3], 1929. Available online: http://geo.scholarsportal.info/#r/details/_uri@=HTDP63360K030M04_1929TIFF. Last accessed May 18, 2022.

1938 Grimsby, Ontario. 1:63,360. Map Sheet 030M04, [ed. 5], gridded, 1938. Available online: http://geo1.scholarsportal.info/#r/details/_uri@=HTDP63360K030M04_1938_MBTIFF. Last accessed May 18, 2022.

Government of Canada

2016 Treaty Texts - Upper Canada Land Surrenders: Between the Lakes Purchase [Transcript] Available online: <https://www.rcaanc-cirnac.gc.ca/eng/1370372152585/1581293792285#ucls5>. Last accessed May 17, 2022.

Government of Ontario

1990a *Environmental Assessment Act*, R.S.O. c E. 18. <https://www.ontario.ca/laws/statute/90e18> Last accessed February 27, 2022

1990b *Ontario Heritage Act*, R.S.O. 1990, Chapter O.18. Last amendment: July 1, 2019. Electronic document: <https://www.ontario.ca/laws/statute/90o18>. Last accessed February 17, 2022.

2006a *O. Reg. 9/06: Criteria for Determining Cultural Heritage Value or Interest*. Electronic document: <https://www.ontario.ca/laws/regulation/060009>. Last accessed February 17, 2022.

2006b *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*. Electronic document: [file:///C:/Users/heidy.schopf.WOODPLC/Downloads/Heritage Tool Kit Heritage PPS infoSheet%20\(8\).pdf](file:///C:/Users/heidy.schopf.WOODPLC/Downloads/Heritage%20Tool%20Kit%20Heritage%20PPS%20infoSheet%20(8).pdf). Last accessed February 17, 2022.

2019 *Preparing environmental assessments: How to prepare different types of environmental assessments in Ontario*. Electronic document: <https://www.ontario.ca/page/preparing-environmental-assessments#section-1>. Last accessed October 30, 2019.

2020 *Provincial Policy Statement*. Electronic document: <https://files.ontario.ca/mmah-provincial-policy-statement-2020-accessible-final-en-2020-02-14.pdf>. Last accessed December 15, 2020.

2022 Map of Ontario treaties and reserves. Available online: <https://www.ontario.ca/page/map-ontario-treaties-and-reserves>. Last accessed September 17, 2021.

Griffin, Justus Alonzo

1924 *Ancestors and Descendants of Richard Griffin, of Smithville, Ont. A Pioneer Family, with a Brief Account of Some Related Griffin Families in Canada*. Hamilton, Ont.: The Griffin & Richmond Co., 1924.

Historic Canada

- 2021 Treaties in Canada: Educational Guide. Available online:
https://www.historicacanada.ca/sites/default/files/PDF/Treaties_English.pdf. Last accessed May 10, 2022.

Julien, Donald M., Bernard, Tim, and Leah Morine Rosenmeier, with review by the Mi'kmawey Debert Elders' Advisory Council

- 2010 Paleo Is Not Our Word: Protecting and Growing a Mi'kmaw Place. In *Indigenous Archaeologies: A Reader in Decolonization*. Margaret Bruchac, Siobhan Hart, and H. Martin Wobst, eds. Pp. 163-170. Left Coast Press, Walnut Creek California.

Kalman Harold

- 1980 The Evaluation of Historic Buildings. Parks Canada.

McDonald Joanne

- 2020 *West Lincoln: Planner Shares Concept for Downtown Core*. NewsNow. Posted February 16th 2020.

Ministry of Agriculture and Food

- 1989 *Generalized Soil Map Regional Municipality of Niagara Ontario*. The Soils of the Regional Municipality of Niagara (Volume 1 and 2). Report No. 60. Available online:
<https://sis.agr.gc.ca/cansis/publications/surveys/on/on60/index.html>. Last accessed May 17, 2022.

Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI)

- 2006 *Heritage Resources in the Land Use Planning Process, InfoSheet #5, Heritage Impact Assessments and Conservation Plans*. Available online:
http://www.mtc.gov.on.ca/en/publications/Heritage_Tool_Kit_Heritage_PPS_infoSheet.pdf Last accessed February 27, 2022.
- 2014 *Standards and Guidelines for the Conservation of Provincial Heritage Properties, Heritage identification & Evaluation Process*.
http://www.mtc.gov.on.ca/en/heritage/MTCS_Heritage_IE_Process.pdf MTCS. Last accessed February 27, 2022.
- 2017 *Ontario Heritage Tool Kit*. Available online:
http://www.mtc.gov.on.ca/en/heritage/heritage_toolkit.shtml. Last accessed February 27, 2022.

Mika Nick and Helma Mika

- 1981 *Places in Ontario Their Name Origins and History Part II F-M*. Mika Publishing Company Belleville, Ontario.
- 1987 *Places in Ontario: Their Name Origins and History Part N-Z*. Mika Publishing Company. Belleville, Ontario.

Municipal Engineers Association.

- 2015 *Municipal Class Environmental Assessment Manual*. Electronic document:
<https://www.municipalclassea.ca/manual/>. Last accessed March 2, 2020.

Ministry of Natural Resources Canada

1934 Niagara Air Photo Digital Images, 1934 Series. [A4873-93]. St. Catharines, ON: Brock University Maps, Data & GIS, 2016. Available: <https://library.brocku.ca/MDG/1965/JPEG/18932-039.jpg>. Last accessed May 17, 2022.

1954/55 Niagara Air Photo Digital Images, 1954-55 Series. [4304-094]. St. Catharines, ON: Brock University Maps, Data & GIS, 2016. Available: <https://library.brocku.ca/MDG/1965/JPEG/18932-039.jpg>. Last accessed May 17, 2022.

Natural Resources Canada

1968 Grimsby (West) Ontario. 1:50,000. Map Sheet 030M04, ed. 4, 1968. Available online: http://geo.scholarsportal.info/#r/details/uri@=NTS50K030M04_1968ed4mceWTIFF. Last accessed May 18, 2022.

1996 Stoney Creek Ontario. 1:50,000. Map Sheet 030M04, ed. 7, 1996. Available online: http://geo.scholarsportal.info/#r/details/uri@=NTS50K030M04_1996ed7TIFF. Last accessed May 18, 2022.

Niagara Region

2022 *Proposed Official Plan. Chapter 6 Vibrant Region*. Available online: <https://niagararegion.ca/official-plan/pdf/proposed-plan/chapter-6-vibrant-region.pdf>. Last accessed June 1, 2022.

Ontario Ministry of Natural Resources

1965 Niagara Air Photo Digital Images, 1965 Series. [19342-078]. St. Catharines, ON: Brock University Maps, Data & GIS, 2016. Available: <https://library.brocku.ca/MDG/1965/JPEG/18932-039.jpg>. Last accessed May 17, 2022.

Page Frank E.

1923 *The Story of Smithville*. Tribune-Telegraph Press. Welland Canada.

Page, H. R. & Co.

1876 *Illustrated Historical Atlas of Lincoln and Welland Counties, Ontario*. University of Toronto Press. Toronto.

Rayburn

1997 *Place Names of Ontario*. University of Toronto Press, Toronto.

Royal Architectural Institute of Canada (RAIC)

1955 *Royal Architectural Institute of Canada Journal. Serial No. 364, Vol 32, No. 12*. Prepared March 1st, 1955. Available online: https://dalspace.library.dal.ca/bitstream/handle/10222/74659/RAIC_vol32_no12_access.pdf?sequence=1&isAllowed=y. Last accessed May 27, 2022.

Schmalz, Peter, S.

1991 *The Ojibwa of Southern Ontario*. University of Toronto Press, Toronto, Ontario.

Surveys and Mapping Branch, Department of Energy, Mines and Resources

1964 Smithville, Ontario. 1:25,000. Map Sheet 030M04A, ed. 1, 1964. Available online: http://geo.scholarsportal.info/#r/details/uri@=HTDP25K030M04a_1964TIFF. Last accessed May 18, 2022.

Survey Division, Department of Militia and Defence

1907 Grimsby, Ontario. 1:63,360. Map Sheet 030M04, [ed. 1], 1907. Historical Topographic Maps of Canada - 1:63,360. Available online: http://geo.scholarsportal.info/#r/details/uri@=HTDP63360K030M04_1907TIFF&add:true&nozoom:true. Last accessed May 18, 2022.

Township of West Lincoln

2020 Amendment Number 54 to the Official Plan of the Township of West Lincoln as Amended. Available online: <https://www.westlincoln.ca/en/news/resources/Draft-OPA-Amendment-No.-54--College.pdf>. Last accessed June 1, 2022.

2021a *Official Plan of the Township of West Lincoln, Consolidated 2021*. Electronic document: <https://www.westlincoln.ca/en/township-office/resources/1.-Consolidated-Official-Plan-02.21---June-29-2021-Consolidation.pdf>. Last accessed May 4, 2022.

2021b *Land Acknowledgement Statement*. From the June 28, 2021 Council Meeting. Available online: <https://www.westlincoln.ca/en/news/council-news-june-28-2021.aspx>. Last accessed May 31, 2022.

Tremaine, G.R.

1862 *Tremaine's Map of the Counties of Lincoln and Welland, Canada West*. Toronto

Trigger, Bruce G.

2000 *Children of the Aataesentsic: A History of the Huron People to 1660*, McGill Q-Queen's university Press, Montreal, Quebec.

U.S. Department of the Interior, National Park Service

2008 *VIII. How to Evaluate the Integrity of a Property*. National Register of Historic Places Bulletin (NRB 15). Available online: http://docs.ppsmixeduse.com/ppp/NOP_and_DEIR_Comment_References/2018_1002_usdi_criteria_foreval-physicalfeatures.pdf. Last accessed May 27, 2022.

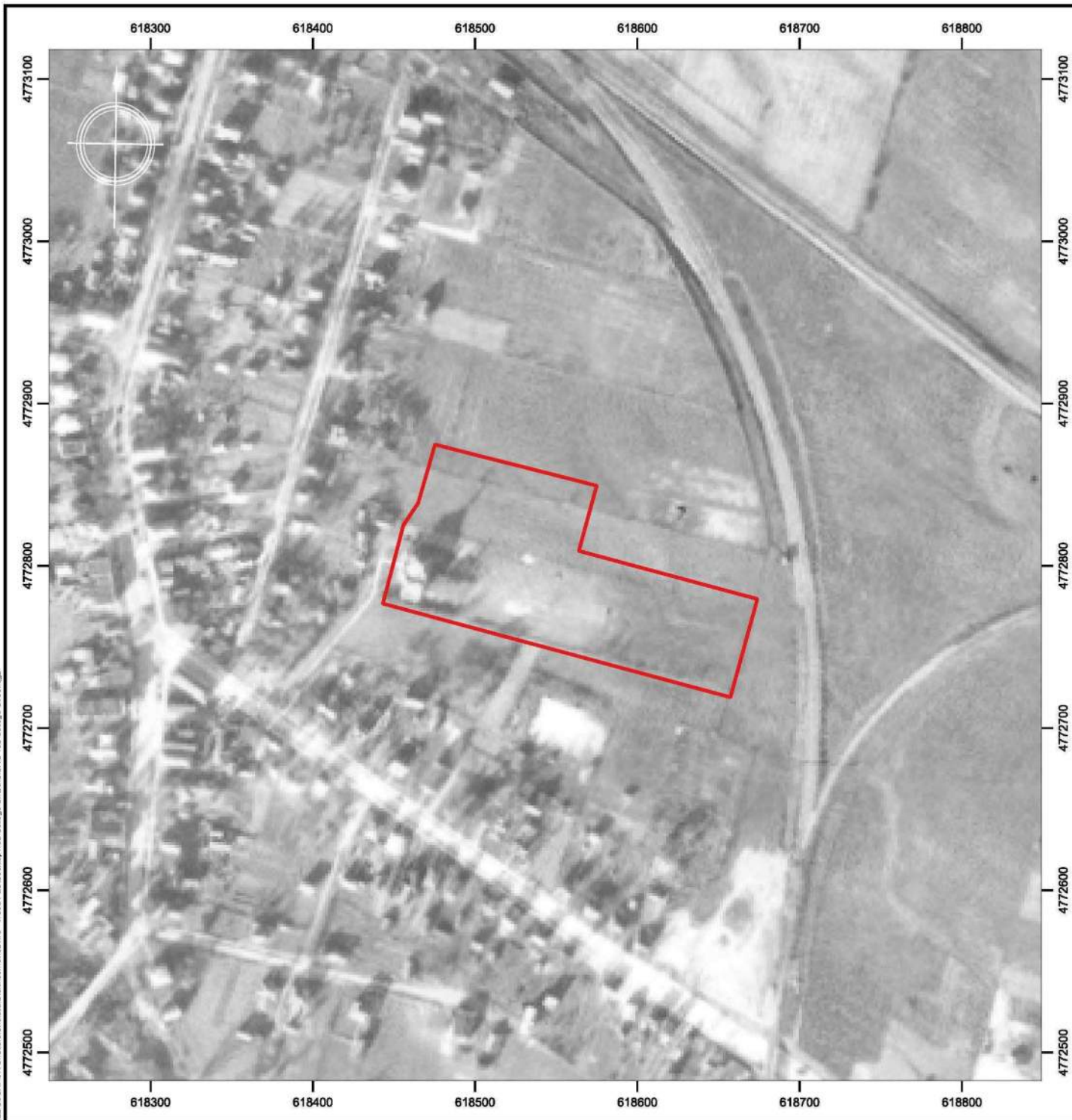
Watt, David.

2010 *Surveying Historic Buildings*. Second Edition. Donhead Shaftsbury, UK.

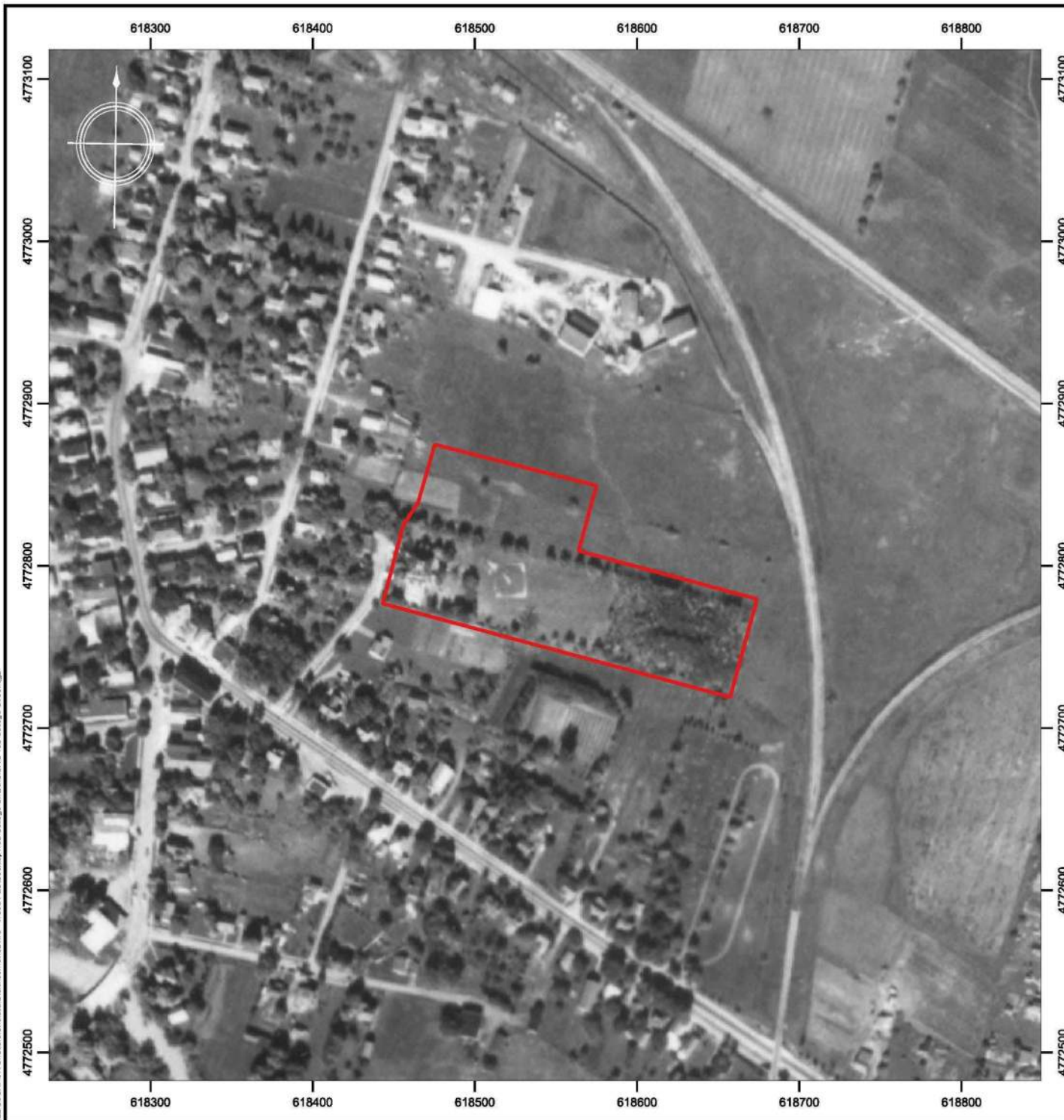
West Lincoln


2021 Council News from the June 28, 2021 Council Meeting: Land Acknowledgement Statement. Available online: <https://www.westlincoln.ca/en/news/council-news-june-28-2021.aspx>. Posted August 20, 2021. Last accessed May 17, 2022.

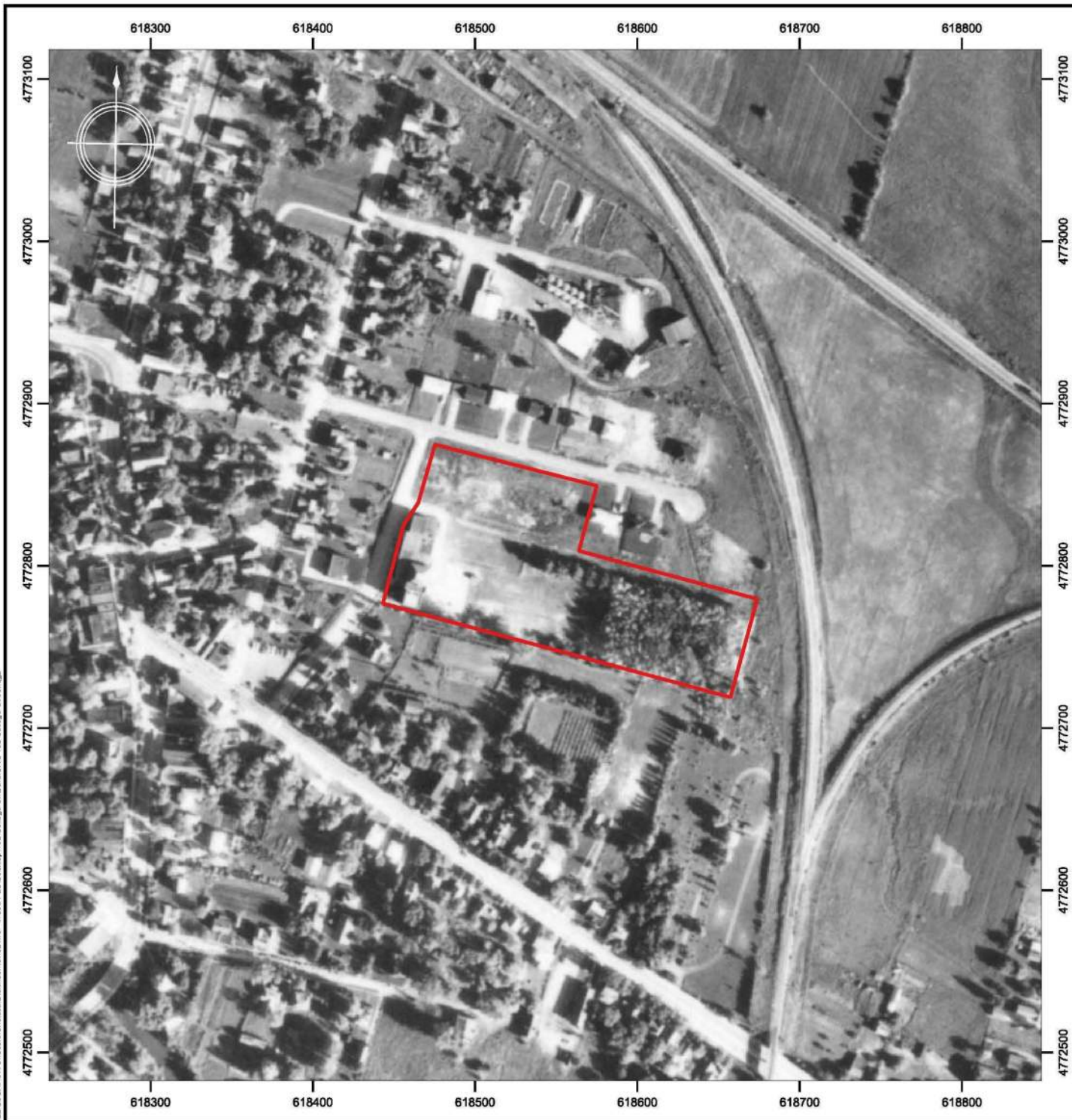
Appendix A: Aerial Photographs




PROJECT: CULTURAL HERITAGE IMPACT ASSESSMENT COLLEGE STREET SCHOOL 132 COLLEGE STREET TOWNSHIP OF WEST LINCOLN, ONTARIO		
TITLE: 1934 AERIAL PHOTOGRAPH SHOWING THE LOCATION OF THE STUDY AREA		
LEGEND: <div style="display: flex; align-items: center;"> <div style="border: 2px solid red; width: 20px; height: 10px; margin-right: 5px;"></div> STUDY AREA </div>		
NOTES: THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS REPORT No. OCUL2202. ALL LOCATIONS ARE APPROXIMATE. REFERENCES: 1934 AERIAL MOSAIC COURTESY OF BROCK UNIVERSITY NIAGARA REGION AIR PHOTO INDEX		
<div style="text-align: center;"> <div style="display: flex; justify-content: space-between; width: 100%;"> 0 50 100 150 m </div> <div style="border: 1px solid black; width: 100%; height: 10px; margin: 2px 0;"></div> SCALE: 1:3,500 </div>		
CLIENT: 2853972 Ontario Ltd. c/o Phelps Homes Ltd. 166 MAIN STREET WEST GRIMSBY, ONTARIO, L3M 1S3		
<div style="text-align: center;"> wood. Wood Environment & Infrastructure Solutions 3450 HARVESTER ROAD, SUITE 100 BURLINGTON, ONTARIO L7N 3W3 </div>		
DWN BY:	CD	CHK'D BY: HS
DATUM:	WGS 84	PROJECTION: UTM ZONE 17
REV No.:	0	DATE: 17 MAY 2022
		PROJECT No.: OCUL2202
		FIGURE No.: A1




PROJECT: CULTURAL HERITAGE IMPACT ASSESSMENT COLLEGE STREET SCHOOL 132 COLLEGE STREET TOWNSHIP OF WEST LINCOLN, ONTARIO		
TITLE: 1954 AERIAL PHOTOGRAPH SHOWING THE LOCATION OF THE STUDY AREA		
LEGEND: <div style="display: flex; align-items: center;"><div style="border: 2px solid red; width: 20px; height: 10px; margin-right: 5px;"></div>STUDY AREA</div>		
NOTES: THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS REPORT No. OCUL2202. ALL LOCATIONS ARE APPROXIMATE. REFERENCES: 1954 AERIAL MOSAIC COURTESY OF BROCK UNIVERSITY NIAGARA REGION AIR PHOTO INDEX		
<div style="text-align: center;"> <div style="display: flex; justify-content: space-between; width: 100%;"> 0 50 100 150 m </div> <div style="border: 1px solid black; width: 100%; height: 10px; margin: 2px 0;"></div> <p>SCALE: 1:3,500</p> </div>		
CLIENT: 2853972 Ontario Ltd. c/o Phelps Homes Ltd. 166 MAIN STREET WEST GRIMSBY, ONTARIO, L3M 1S3		
<div style="text-align: center;">  Wood Environment & Infrastructure Solutions 3450 HARVESTER ROAD, SUITE 100 BURLINGTON, ONTARIO L7N 3W3 </div>		
DWN BY: CD	CHK'D BY: HS	DATE: 17 MAY 2022
DATUM: WGS 84	PROJECTION: UTM ZONE 17	PROJECT No.: OCUL2202
REV No.: 0		FIGURE No.: A2



PROJECT: CULTURAL HERITAGE IMPACT ASSESSMENT COLLEGE STREET SCHOOL 132 COLLEGE STREET TOWNSHIP OF WEST LINCOLN, ONTARIO		
TITLE: 1965 AERIAL PHOTOGRAPH SHOWING THE LOCATION OF THE STUDY AREA		
LEGEND: <div style="display: flex; align-items: center;"> <div style="border: 2px solid red; width: 20px; height: 10px; margin-right: 5px;"></div> STUDY AREA </div>		
NOTES: THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS REPORT No. OCUL2202. ALL LOCATIONS ARE APPROXIMATE. REFERENCES: 1965 AERIAL MOSAIC COURTESY OF BROCK UNIVERSITY NIAGARA REGION AIR PHOTO INDEX		
<div style="text-align: center;"> <div style="display: flex; justify-content: space-between; width: 100%;"> 0 50 100 150 m </div> <div style="border: 1px solid black; width: 100%; height: 10px; margin: 2px 0;"></div> <p>SCALE: 1:3,500</p> </div>		
CLIENT: 2853972 Ontario Ltd. c/o Phelps Homes Ltd. 166 MAIN STREET WEST GRIMSBY, ONTARIO, L3M 1S3		
<div style="text-align: center;">  Wood Environment & Infrastructure Solutions 3450 HARVESTER ROAD, SUITE 100 BURLINGTON, ONTARIO L7N 3W3 </div>		
DWN BY:	CD	CHK'D BY: HS
DATUM:	WGS 84	PROJECTION: UTM ZONE 17
REV No.:	0	FIGURE No.: A3
		DATE: 17 MAY 2022
		PROJECT No.: OCUL2202



PROJECT: CULTURAL HERITAGE IMPACT ASSESSMENT COLLEGE STREET SCHOOL 132 COLLEGE STREET TOWNSHIP OF WEST LINCOLN, ONTARIO		
TITLE: 2000 AERIAL PHOTOGRAPH SHOWING THE LOCATION OF THE STUDY AREA		
LEGEND: <div style="display: flex; align-items: center;"> <div style="border: 2px solid red; width: 20px; height: 10px; margin-right: 5px;"></div> STUDY AREA </div>		
NOTES: THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS REPORT No. OCUL2202. ALL LOCATIONS ARE APPROXIMATE. REFERENCES: 2000 AERIAL MOSAIC COURTESY OF BROCK UNIVERSITY NIAGARA REGION AIR PHOTO INDEX		
<div style="text-align: center;"> <div style="display: flex; justify-content: space-between; width: 100%;"> 0 50 100 150 m </div> <div style="width: 100%; height: 10px; background: linear-gradient(to right, black 50%, white 50%); border: 1px solid black; margin: 0 auto;"></div> <p>SCALE: 1:3,500</p> </div>		
CLIENT: 2853972 Ontario Ltd. c/o Phelps Homes Ltd. 166 MAIN STREET WEST GRIMSBY, ONTARIO, L3M 1S3		
<div style="text-align: center;">  Wood Environment & Infrastructure Solutions 3450 HARVESTER ROAD, SUITE 100 BURLINGTON, ONTARIO L7N 3W3 </div>		
DWN BY:	CHK'D BY:	DATE:
CD	HS	17 MAY 2022
DATUM:	PROJECTION:	PROJECT No.:
WGS 84	UTM ZONE 17	OCUL2202
REV No.:		FIGURE No.:
0		A4



PROJECT: CULTURAL HERITAGE IMPACT ASSESSMENT COLLEGE STREET SCHOOL 132 COLLEGE STREET TOWNSHIP OF WEST LINCOLN, ONTARIO		
TITLE: 2018 AERIAL PHOTOGRAPH SHOWING THE LOCATION OF THE STUDY AREA		
LEGEND: <div style="display: flex; align-items: center;"> <div style="border: 2px solid red; width: 20px; height: 10px; margin-right: 5px;"></div> STUDY AREA </div>		
NOTES: THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS REPORT No. OCUL2202. ALL LOCATIONS ARE APPROXIMATE. REFERENCES: 2018 AERIAL MOSAIC COURTESY OF BROCK UNIVERSITY NIAGARA REGION AIR PHOTO INDEX		
<div style="text-align: center;"> <div style="display: flex; justify-content: space-between; width: 100%;"> 0 50 100 150 m </div> <p>SCALE: 1:3,500</p> </div>		
CLIENT: 2853972 Ontario Ltd. c/o Phelps Homes Ltd. 166 MAIN STREET WEST GRIMSBY, ONTARIO, L3M 1S3		
<div style="text-align: center;"> <p>Wood Environment & Infrastructure Solutions</p> <p>3450 HARVESTER ROAD, SUITE 100 BURLINGTON, ONTARIO L7N 3W3</p> </div>		
DWN BY:	CHK'D BY:	DATE:
CD	HS	17 MAY 2022
DATUM:	PROJECTION:	PROJECT No.:
WGS 84	UTM ZONE 17	OCUL2202
REV No.:		FIGURE No.:
0		A5

Appendix B: Abstract Parcel Register Book

No of INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRY	GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS
1704.	Barq + Sale	April 19. 1844.	April 20. 1844	Adam Hutt	James Patterson	30 Acs. 32 P.	\$250. 0. 0.	E. of Griffen St. Am. H. St.
2808.	Barq + Sale	February 6. 1846	April 7. 1846	George Gill	Alexander Mc Intyre	3 1/2 P.	\$300. 0. 0.	in Can. no. 34.
1503.	Barq + Sale	Oct. 22. 1847.	May 24. 1849.	Joseph, Richard & Co.	John Harrington	nearly 1. ac.	\$50. 0. 0.	E. 1/2 of 3. b. of St. Cath. St.
1504.	Barq + Sale	Oct. 22. 1847.	May 24. 1849.	Joseph, Richard & Co.	George Roszel	56. P. ac.	\$100. 0. 0.	115. E. of Griffen St.
2924.	Barq + Sale	Sept. 12. 1849.	April 12. 1851.	John Harrington	John W. Lewis	3 Acs.	\$75. 0. 0.	20 1/2 of 3. b. of St. Cath. St.
2925.	Barq + Sale	June 29. 1850	April 12. 1851.	John W. Lewis, Esq.	Benjamin Bartlett	3 Acs.	\$75. 0. 0.	" " " "
3559.	Barq + Sale	Sept. 11. 1850	November 6. 1851.	Joseph, Richard & Co.	Joseph W. Lewis	1. ac.	\$100. 0. 0.	Can. S. W. R. Geo. Bartlett St.
3752.	Mortgage	April 30. 1851.	February 2. 1852	John W. Lewis, Esq.	Thomas B. Anderson	7 A. 1 R. 20 P.	\$150. 0. 0.	North E. section
3753.	Barq + Sale	April 30. 1851.	February 2. 1852	John W. Lewis, Esq.	James E. Sigbee	30. ac.	\$312. 0. 0.	and 1/2 of 3. b.
4133.	Barq + Sale	June 17. 1851.	August 17. 1852	William Walker Ltd	James P. Emerson	10. ac.	\$200. 0. 0.	" " " "
4335.	Barq + Sale	March 21. 1851	January 4. 1853.	James P. Emerson Esq.	John Mc Callum	1/2 ac.	\$400. 0. 0.	Along St. James St. of Griffen St. Can. no. 41
4467.	Barq + Sale	July 18. 1850.	January 27. 1853.	W. & F. Gayle Esq. (D. R. 1853)	John W. Lewis	7 A. 1 R. 20 P.	" " " "	15 1/2 in. 31 ft. north 7-5-7
4468.	Mortgage	April 30. 1851.	January 27. 1853	James E. Hare	John W. Lewis	N. 1/2 30. ac.	" " " "	" " " "
4532.	Barq + Sale	Oct. 11. 1850	February 19. 1853.	John Horner	John B. & W. H. Horner	Part 1/2 ac.	" " " "	and 1/2 of 3. b.
4737.	Barq + Sale	Oct. 27. 1851.	May 20. 1853	Joseph W. Lewis, Esq.	William D. Baldwin	1/2 ac.	\$100. 0. 0.	Can. S. W. R. Geo. Bartlett St.
5127.	Barq + Sale	January 6. 1846	November 1. 1853	George Gill, Jr.	Thomas Mungatropel	38. ac.	\$250. 0. 0.	" " " "
5694.	Barq + Sale	May 30. 1854.	July 13. 1854.	James P. Emerson Esq.	Patrick Hanning	1/2 ac.	\$25. 0. 0.	S. of St. Cath. St. Du. R. St.
5735.	Barq + Sale	August 1. 1854	August 17. 1854	Henry D. Wood	W. & John Mc Rourke	9 1/2 P. ac.	\$150. 0. 0.	E. of Can. no. 34
6433.	Barq + Sale	June 20. 1855.	June 30. 1855.	John W. Lewis, Esq.	John Thompson	80 "	\$80. 0. 0.	N. of St. Cath. St.
6451.	Quit claim	6. 1855	July 11. 1855.	James H. Griffin Esq.	Wm. Griffin	Part 1/2 of 3. b. of St. Cath. St.	\$0. 0. 0.	all 3. b. of St. Cath. St.
6457.	Barq + Sale	January 19. 1854	July 11. 1855.	John W. Lewis, Esq.	Thomas Luffe	140 P. ac.	\$15. 0. 0.	E. of Can. no. 34
6458.	Mortgage	May 26. 1855.	July 11. 1855	Thomas Luffe	James Paxton	" "	\$100. 0. 0.	" " " "
6462.	Barq + Sale	May 26. 1855	July 11. 1855	George Brand Esq.	Solomon Smith	1/2 ac.	\$300. 0. 0.	Can. S. W. R. Geo. Bartlett St.
6527.	Mortgage	June 23. 1855.	August 15. 1855.	Solomon Smith Esq.	George Brand	" "	\$150. 0. 0.	" " " "
6632.	Barq + Sale	March 29. 1853	September 1. 1855	Thomas Mungatropel Esq.	Thomas Mungatropel Jr.	1/2 "	\$50. 0. 0.	E. of Can. no. 34
6806.	Barq + Sale	September 24. 1855.	November 21. 1855.	Patrick Hanning Esq.	David Roszel	1/2 "	\$500. 0. 0.	S. of St. Cath. St.
7067.	Barq + Sale	February 1856	February 26. 1856	James P. Emerson Esq.	W. Mungatropel Jr. & Co. Esq.	70 P. ac.	\$62. 10. 0.	W. of Griffen St.
7508.	Barq + Sale	August 29. 1855	August 22. 1856	George Copeland Esq.	Dr. S. R. R. Esq.	1/8 ac.	\$200. 0. 0.	Griffen St.
7528.	Barq + Sale	May 21. 1856	September 6. 1856.	Thos. Mungatropel Esq.	Henry Killick	1/4 "	\$15. 0. 0.	E. of Can. no. 34
7565.	Barq + Sale	November 6. 1854	September 24. 1856.	John Mc Callum Esq.	George Copeland	62. P. ac.	\$86. 5. 0.	E. of Griffen St.
7566.	Barq + Sale	April 21. 1856.	September 24. 1856	George Copeland Esq.	Henry Dosmore	62 P. ac.	\$150. 0. 0.	" " " "
7576.	Barq + Sale	August 12. 1856	September 27. 1856	Thos. Mungatropel Esq.	George Copeland	1/4 ac.	\$60. 0. 0.	E. 1/3. S. Can. no. 34
7776.	Barq + Sale	October 7. 1856.	December 16. 1856	John Mc Callum Esq.	Ann Baxter	33. Acs.	\$18. 15. 0.	" " " "
7777.	Barq + Sale	December 2. 1856	December 4. 1856.	George Bartlett Esq.	John Dickey	" "	\$62. 10. 0.	" " " "
7884.	Mortgage	January 3. 1856	January 8. 1857.	John S. Carl Esq.	May Cutler	3/4 ac.	\$500. 0. 0.	Griffen St.
7889.	Barq + Sale	December 23. 1856	January 8. 1857.	John W. Lewis Esq.	James C. Williams	1 1/2 P. ac.	\$200. 0. 0.	N. of Can. no. 34
7890.	Barq + Sale	June 5. 1856	January 8. 1857	John W. Callum Esq.	Solomon Decker	5 1/2 ac.	\$950. 0. 0.	St. Cath. St.
7944.	Barq + Sale	November 8. 1856.	January 29. 1857.	Thos. Mungatropel Esq.	John Roszel	1/2 ac.	\$32. 10. 0.	E. 1/4. S. Can. no. 34
7954.	Barq + Sale	November 1. 1856	January 29. 1857.	Harman G. House	Wm. G. House	7 P. ac.	\$5. 0. 0.	S. E. 1/4. Griffen St.
7985.	Quit claim	June 8. 1854	February 7. 1857	Abraham Moore Esq.	Harman G. House	1/2 ac.	\$200. 0. 0.	W. E. 1/4. Griffen St.
7986.	Barq + Sale	June 30. 1856	February 7. 1857	Harman G. House Esq.	Joseph W. Lewis	" "	\$400. 0. 0.	" " " "
8000.	Barq + Sale	April 9. 1851.	February 11. 1857	Henry Haynes Esq.	Caroline French	" "	\$250. 0. 0.	" 1/2 of 3. b. of St. Cath. St.
8061.	Barq + Sale	January 21. 1857.	February 11. 1857.	John W. French Esq.	Moses H. Corcoran	1 R. 7 P. ac.	\$165. 0. 0.	E. of Can. no. 34
8047.	Mortgage	March 2. 1857	March 5. 1857.	Wm. G. House Esq.	William Bellhouse	7 P. ac.	\$213. 17. 9.	S. E. 1/4. Griffen St.
8048.	Barq + Sale	August 13. 1856	March 30. 1857	Thomas Luffe Esq.	Dr. S. R. R. Esq.	110. "	\$187. 0. 0.	E. of Can. no. 34

LOT No. 7 in the 9th Concession,

No. of INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRY	GRANTOR
8171.	Barq & Sale	March 3. 1846	April 7. 1857.	Isaac Oberholtz & Co.
8188.	Barq & Sale	January 8. 1857.	April 10. 1857.	Thos. Mungatord & Co.
8238.	Barq & Sale	October 16. 1856.	May 6. 1857.	Simon P. Emerson & Co.
8239.	Mortgage	May 14. 1857	May 7. 1857.	Thos. Mungatord & Co.
8329.	Barq & Sale	December 5. 1855.	June 15. 1857	W. P. Buckbee & Co.
8330.	Barq & Sale	June 10. 1857	June 15. 1857.	Isaac Oberholtz & Co.
8350.	Barq & Sale	June 25. 1857.	June 27. 1857.	Isaac Oberholtz & Co.
8500.	Barq & Sale	August 30. 1857.	September 9. 1857.	William Danner & Co.
8528.	Barq & Sale	September 9. 1857.	September 17. 1857.	George Copeland & Co.
8529.	Barq & Sale	January 30. 1857.	September 17. 1857	Isaac Oberholtz & Co.
8734.	Barq & Sale	November 13. 1857.	December 9. 1857	Thos. Mungatord & Co.
9136.	Barq & Sale	September 22. 1856	May 25. 1858.	Henry Dorman & Co.
9324.	Barq & Sale	October 1. 1855	September 14. 1858.	George Copeland & Co.
9325.	Barq & Sale	May 5. 1855.	September 14. 1858	Isaac Oberholtz & Co.
9326.	Barq & Sale	August 21. 1852.	September 14. 1858.	Isaac Oberholtz & Co.
9328.	Ass. Mortg.	September 25. 1858.	September 22. 1858.	George Copeland & Co.
9436.	Barq & Sale	May 13. 1858.	October 22. 1858.	Isaac Oberholtz & Co.
9600.	Mortgage	June 5. 1856	December 14. 1858.	Isaac Oberholtz & Co.
9741.	Barq & Sale	September 4. 1858.	February 14. 1859.	Henry Dorman & Co.
9987.	Mortgage	August 5. 1858.	May 4. 1859.	Isaac Oberholtz & Co.
9988.	Mortgage	October 16. 1858.	May 14. 1859.	Isaac Oberholtz & Co.
10065.	Barq & Sale	March 23. 1859.	June 8. 1859.	Isaac Oberholtz & Co.
10431.	Barq & Sale	April 6. 1859.	December 13. 1859.	Isaac Oberholtz & Co.
10571.	Ass. Mortg.	January 13. 1860	January 20. 1860	Isaac Oberholtz & Co.
11039.	Shff. Deed	August 2. 1860.	August 2. 1860	Isaac Oberholtz & Co.
11089.	Barq & Sale	March 1. 1858.	September 11. 1860.	Isaac Oberholtz & Co.
11253.	Shff. Deed	November 15. 1860	November 15. 1860	Isaac Oberholtz & Co.
11294.	Barq & Sale	October 19. 1860	December 11. 1860.	Isaac Oberholtz & Co.
11295.	Barq & Sale	October 22. 1860.	December 11. 1860.	Isaac Oberholtz & Co.
11327.	Barq & Sale	October 13. 1860.	December 11. 1860	Isaac Oberholtz & Co.
11721.	Ass. Mortg.	March 14. 1857.	April 23. 1861	Isaac Oberholtz & Co.
11844.	Barq & Sale	June 9. 1860	June 24. 1861	Isaac Oberholtz & Co.
11982.	Barq & Sale	April 3. 1860	September 10. 1861	Isaac Oberholtz & Co.
12326.	Barq & Sale	April 26. 1861	March 14. 1862	Isaac Oberholtz & Co.
12399.	Mortgage	February 28. 1862	March 6. 1862	Isaac Oberholtz & Co.
12572.	Deed of Trust	July 9. 1855	May 5. 1862	Isaac Oberholtz & Co.
12633.	Mortgage	May 27. 1862	May 29. 1862	Isaac Oberholtz & Co.
12805.	Barq & Sale	May 29. 1862	August 7. 1862	Isaac Oberholtz & Co.
12948.	Barq & Sale	July 30. 1859	October 20. 1862	Isaac Oberholtz & Co.
12958.	Barq & Sale	February 4. 1859	October 24. 1862	Isaac Oberholtz & Co.
12970.	Mortgage	October 25. 1862.	November 1. 1862	Isaac Oberholtz & Co.
13196.	Barq & Sale	June 14. 1859.	January 31. 1863	Isaac Oberholtz & Co.
13633.	Mortgage	April 20. 1868.	July 1. 1863	Isaac Oberholtz & Co.
13634.	Barq & Sale	April 8. 1868.	August 2. 1863	Isaac Oberholtz & Co.
13635.	Mortgage	April 8. 1863	August 2. 1863	Isaac Oberholtz & Co.

TOWNSHIP OF GRIMSBY.

72

GRANTOR	QUANTITY OF LAND	CONSIDERATION AMOUNT OF MORTGAGE	REMARKS
James Dunbar	1 Acre 3/4.	\$2750.00	
Peter Bunch	1/4 "	\$400.00	Val. Sh. E. of Centre Sh.
George Bant	1/4 "	\$250.00	S. of Sh. E. of Centre Sh.
Peter Mungatord	20 Acres.	\$1200.00	to J. G. H. & Co.
Isaac Oberholtz	31 "	\$100.00	to J. G. H. & Co.
Isaac Oberholtz	1 "	\$525.00	" " " "
Andrew Dewar	3/4 Acre	\$650.00	S. of G. H. & Co.
Milton D. Mace	3. Acre	\$150.00	to J. G. H. & Co.
Isaac Oberholtz	1/4 "	\$20.00	Val. Sh.
Isaac Oberholtz	" "	\$50.00	" " E. of Sh. 18.
Henry Killock	5 1/2 Acres	\$140.00	and Sh. E. of G. H. & Co.
Isaac Oberholtz	6 1/2 Acres	\$60.00	" " "
Isaac Oberholtz	1/2 Acre	\$500.00	" " "
Samuel S. Sh. Sh.	2 1/2 Acres	\$400.00	" " "
Isaac Oberholtz	1/2 Acre	\$500.00	S. of Sh. E. of Centre Sh.
Isaac Oberholtz	1/4 "	\$70.00	to J. G. H. & Co.
Isaac Oberholtz	5 1/2 Acres	\$950.00	to J. G. H. & Co.
Isaac Oberholtz	6 Acres	\$30.00	" " "
Isaac Oberholtz	79 1/10 Acres	\$600.00	to J. G. H. & Co.
Isaac Oberholtz	" "	\$500.00	" " "
Isaac Oberholtz	2 1/2 Acres	\$450.00	to J. G. H. & Co.
Isaac Oberholtz	1 Acre	\$500.00	to J. G. H. & Co.
Isaac Oberholtz	1/2 "	\$779.00	to J. G. H. & Co.
Isaac Oberholtz	1/2 Acre	\$710.00	to J. G. H. & Co.
Isaac Oberholtz	1/2 Acre	\$300.00	to J. G. H. & Co.
Isaac Oberholtz	79 1/10 Acres	\$50.00	to J. G. H. & Co.
Isaac Oberholtz	34 1/100 Acres	\$400.00	to J. G. H. & Co.
Isaac Oberholtz	" "	\$400.00	to J. G. H. & Co.
Isaac Oberholtz	1/2 Acre	\$600.00	to J. G. H. & Co.
Isaac Oberholtz	31 Acres	\$600.00	to J. G. H. & Co.
Isaac Oberholtz	2 1/2 "	\$60.00	to J. G. H. & Co.
Isaac Oberholtz	1/2 Acre	\$1000.00	to J. G. H. & Co.
Isaac Oberholtz	" "	\$1060.00	to J. G. H. & Co.
Isaac Oberholtz	1/2 Acre	\$10.00	to J. G. H. & Co.
Isaac Oberholtz	20. "	\$400.00	to J. G. H. & Co.
Isaac Oberholtz	1. "	\$1030.00	to J. G. H. & Co.
Isaac Oberholtz	1/4 Acre	\$630.00	to J. G. H. & Co.
Isaac Oberholtz	33 Acres	\$200.00	to J. G. H. & Co.
Isaac Oberholtz	6 Acres	\$1400.00	to J. G. H. & Co.
Isaac Oberholtz	11 1/2 Acres	\$300.00	to J. G. H. & Co.
Isaac Oberholtz	1/4 Acre	\$550.00	to J. G. H. & Co.
Isaac Oberholtz	" "	\$550.00	to J. G. H. & Co.

LOT No. 7 in the 9th Concession,

No. of INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF ENTRY	GRANTOR
13718.	Buy & Sale.	April 12. 1863.	August 8. 1863.	Henry Denton Esq.
13720.	Buy & Sale.	August 5. 1863.	August 8. 1863.	William Cook Esq.
13832.	Ass't of Matg.	September 29. 1863.	October 15. 1863.	William Danner.
13862.	Buy & Sale.	December 6. 1861.	Oct. 26. 1863.	Thos Mungatony & Son
13986.	Buy & Sale.	November 24. 1863.	November 22. 1863.	Abel & Mungatony
13987.	Mortgage.	November 24. 1863.	November 22. 1863.	Daniel Day Esq.
14184.	Mortgage.	October 29. 1863.	February 13. 1864.	Patrick P. Curran Esq.
14485.	Buy & Sale.	April 8. 1865.	May 10. 1864.	W. Walker D. B. Linder & Co.
14865.	Buy & Sale.	September 21. 1864.	October 25. 1864.	W. Cook Esq.
15124.	Mortgage.	January 27. 1865.	January 31. 1865.	John W. Elva Esq.
15259.	Ass't of Matg.	February 13. 1865.	March 27. 1865.	Charles Mungatony & Son
15260.	Buy & Sale.	February 13. 1865.	March 27. 1865.	Thos Mungatony & Son
15352.	Buy & Sale.	April 8. 1865.	April 26. 1865.	Richard H. H. H. Esq.
15650.	Ass't of Matg.	August 28. 1865.	September 23. 1865.	Calvin Patten Esq.
15655.	Buy & Sale.	June 10. 1865.	September 25. 1865.	Benjamin Basler.
15845.	Ass't of Matg.	October 14. 1865.	December 12. 1865.	W. Cook Esq.
15988.	Quit Claim.	June 24. 1862.	December 30. 1865.	John H. Giffen Esq.
15989.	Buy & Sale.	August 17. 1864.	December 30. 1865.	Joseph S. Smith
16153.	Buy & Sale.	Nov. 3. 1862.	Jan. 17. 1863.	James E. Han
15667.	Buy & Sale.	Sept 14. 1865.	Oct 2. 1865.	George Roszel Esq.
Lot No. 8 - in the 9 th Concession in G th				

TOWNSHIP OF GRIMSBY.

GRANTOR	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS
William Roszel		\$6500.00	to J. Smith & Co. Brick Mill.
Abel & Mungatony	1/4 Acre	\$600.00	to J. Smith & Co.
William A. Noble	20 Acres	\$113.33 1/3	to J. Smith & Co.
Samuel Ann Smith	1/4 Acre	\$800.00	to J. Smith & Co.
Daniel Day	1 Acre	\$2000.00	to J. Smith & Co.
Abel & Mungatony	" "	\$2000.00	" " "
J. C. Battelle	1/4 Acre	\$400.00	to J. Smith & Co.
George Gill	3/4 Acre	\$200.00	" " "
John D. Bradshaw	1/4 Acre	\$700.00	to J. Smith & Co.
W. Danner, Esq.	1/100 Acre	\$500.00	to J. Smith & Co.
Abel & Mungatony	3/4 Acre	to J. Smith & Co.	to J. Smith & Co.
Charles Mungatony	" "	\$1000.00	" " "
Samuel Ann Smith	1/4 Acre	\$830.00	" " "
Cyrus Patten		\$200.00	" " "
Samuel Ann Smith	3/4 Acre	\$300.00	to J. Smith & Co.
Benjamin Basler		\$416.50	to J. Smith & Co.
W. S. Smith	3/4 Acre	\$15.00	to J. Smith & Co.
Samuel Ann Smith	3/4 Acre	\$400.00	" " "
Richard H. H. H.	30 Acre	\$337.10	to J. Smith & Co.
Rich. West & Rich. Florida	10 "	\$220.00	to J. Smith & Co.
Dormitory of Grimsby.			

Patent	December 31. 1898.		The Crown
6037. Bang & Dal	July 14. 1804.	January 11. 1822	Abraham Griffin Esq.
8984. Bang & Dal	March 9. 1831.	January 25. 1833.	Samuel Griffin
9259. Bang & Dal	June 8. 1833.	July 9. 1833.	Samuel Griffin -
9309. Bang & Dal	April 21. 1831	August 5. 1833.	Samuel Griffin -
9475. Bang & Dal	July 18. 1833.	December 2. 1833.	Samuel Griffin
9505. Bang & Dal	August 14. 1833.	December 13. 1833.	Samuel Griffin
9582. Bang & Dal	January 25. 1834	February 27. 1834	Samuel Griffin
9673. Bang & Dal	December 24. 1833.	May 6. 1834	Samuel Griffin
9743. Bang & Dal	April 22. 1834	June 12. 1834	Samuel Griffin
9744. Bang & Dal	March 9. 1831	June 12. 1834	Samuel Griffin -
9900. Bang & Dal	August 21. 1834.	September 11. 1834	Samuel Griffin
10022. Bang & Dal	August 21. 1834	December 8. 1834	Samuel Griffin
10048. Bang & Dal.	November 13. 1834	December 17. 1834	Daniel Lewis
10118. Bang & Dal.	September 26. 1833.	February 4. 1835.	W. M. M. M.
10314. Quit Claim -	April 21. 1835 -	May 22. 1835.	Abraham M. M.
10316. Bang & Dal	June 11. 1834.	May 22. 1835	Abraham M. M.
10391. Bang & Dal	December 26. 1834	July 13. 1835	Samuel Griffin
10535. Bang & Dal	August 14. 1832	October 30. 1835	Samuel Griffin
10684. B. & D. in Dutch	May 9. 1835	January 2. 1836	Samuel Griffin
10864. Bang & Dal	July 25. 1825	June 8. 1836	Isaac & Abraham Griffin
10935. Bang & Dal	May 10. 1836	July 9. 1836	Robert Waddell
10962. Bang & Dal	September 3. 1835.	July 11. 1836	Daniel Lewis

Richard Griffin	all 198 Acre		to J. Smith & Co.
Samuel Griffin	107 "	0 0 0	to J. Smith & Co.
Abraham M. M.	80 "	\$150.00	to J. Smith & Co.
Henry Smith	89 "	\$300.00	to J. Smith & Co.
Isaac W. Cook	1/4 Acre	\$200.00	to J. Smith & Co.
Samuel Daylin	1/2 Acre	\$50.00	to J. Smith & Co.
Benjamin Canby	52 Acre	\$250.00	to J. Smith & Co.
Daniel Lewis	2 Acre 3/4 P.	\$50.00	to J. Smith & Co.
Abraham M. M.	1/2 Acre	\$22.00	to J. Smith & Co.
James W. M. M.	C.P. 1 Acre	\$25.00	to J. Smith & Co.
W. M. M.	37 Acre 2 Acre	\$80.00	to J. Smith & Co.
Daniel Lewis	7 Patches	\$10.00	to J. Smith & Co.
John Horro	110 "	\$50.00	to J. Smith & Co.
John Horro	2 Acre 25 P.	\$300.00	to J. Smith & Co.
Abel Waddell	37 Acre 2 Acre	\$150.00	to J. Smith & Co.
W. M. M.	S.E. 1/2		to J. Smith & Co.
Abraham M. M.	1/2 Acre	\$250.00	to J. Smith & Co.
John D. Stewart	6 Acre 31 P.	\$40.00	to J. Smith & Co.
Alley S. M. M.	2 Acre 12 P.	\$20.00	to J. Smith & Co.
Abraham M. M.	3 Acre 16 P.	\$10.00	to J. Smith & Co.
Samuel Griffin	S. 1/4 97 Acre	\$200.00	to J. Smith & Co.
Isaac Waddell	37 Acre 2 Acre	\$80.00	to J. Smith & Co.
John Horro	C.P. 16 Patches	\$7.10	to J. Smith & Co.

Lot No. 7 in the 9th Concession

S. R. Hart & Co. No. 1448

No.	Instrument	Date	Registry	GRANTORS	GRANTEES
56	Art. of M.	10 Dec. 1882 17	Dec.	1882 William Cooper, et ux.	Maria Pearson
59	Art. of M.	10 " 1882 17	"	1882 " " "	"
60	B+S	10 " 1883 17	"	1883 William Cooper, et ux.	Maria Pearson
166	A. of M.	18 Aug. 1884 16	Sept.	1884 Thos. Bullivant	Maria Pearson
271	Art. of M.	10 " 1886 2	Dec.	1886 Edward J. Dalton	Eliza A. Coors
372	B+S	16 Sep. 1886 3	"	1886 Robert A. Hutt, et ux.	Eliza A. Coors
415	Will	28 June 1886 14	Feb.	1887 Joseph Durkee	Chas. H. Patterson
453	B+S	7 Dec. 1886 23	June	1887 Maria & Thos. Pearson	Margaret E. Martin
454	B+S	20 May 1888 24	do.	1887 Charlotte Murgatroyd, Junr	Isaac Merritt
455	B+S	20 July 1888 24	do.	1887 do do do	do
462	Mortg.	1 Aug. 1889 6	Aug.	1889 Margaret E. & Jos. Martin	Michael J. Dalton
472	Mortg.	21 Oct. 1889 25	Oct.	1889 do do do	Laura Eastman
472	Art. of M.	22 do 1889 25	do	1889 Michael J. Dalton	Margaret E. Martin
648	B+S	19 Aug. 1889 20	Aug.	1889 Margaret E. & Jos. M. Martin	Eliza A. Konkle, widow
934	Deed	2 July 1892 8	July	1892 Omar & Darwin Bartlett, et ux	Darwin Bartlett of Benjamin Bartlett
1039	B+S	3 Oct. 1893 4	Oct.	1893 Magdalene & Mich. J. Dalton Ellen & Saml. Birdsell & Mary Hare, Widow.	John Juhlke
1040	Mortg.	3 " 1893 4	"	1893 John Juhlke, et ux	Magdalene Dalton & Ellen Birdsell
1267	B+S	2 Dec. 1895 12	Dec.	1895 Maria & Thos. Pearson	Charles Grassie
1268	B+S	2 " 1895 16	"	1895 " " "	Tor. Ham. & Buff. Ry. Co.
1300	Art. of M.	14 Mar. 1896 23	Mar.	1896 In Re Tor. Ham. & Buff. Ry. Co.	Jan 30/97 - S. R. Hart
1518	B+S	25 Oct. 1898 26	Oct.	1898 Wm. B. Shrum, Administrator of Estate of Isaac Merritt	Emma Jane Merritt
1708	B+S	16 July 1900 6	Dec.	1900 Mary H. Mathew, widow one of Robert Murgatroyd the heirs of the late Charlotte Murgatroyd	Robert Murgatroyd
1709	B+S	16 " 1900 6	"	1900 Thomas Murgatroyd one of the heirs of late Charlotte Murgatroyd	Robert Murgatroyd
1795	B+S	12 Dec. 1901 14	Dec.	1901 Emma Tierney one of the heirs of the late Charlotte Murgatroyd	Robert Murgatroyd
1842	B+S	8 May 1902 10	May	1902 Charles Grassie et ux	Thomas Theal, Chas. Shinton Isaac Wardell, Elijah Durham Adolphus D. Middaugh, Directors
1881	B+S	12 Oct. 1893 22	Nov.	1902 John Geo. T. John G. & Wm E McKeough, Trustees of Wm Mc- Keough, Mary J. wife of Jno. Mc- Keough & Betsey Ann, Widow Wm. McKeough	Annie M. Keough
1909	Deed	14 Feb. 1903 21	Feb.	1902 John Juhlke, et ux	Magdalene Dalton & Ellen Birdsell
1916	Life Lease	17 Feb. 1903 7	Mar.	1903 Magdalene & Michael J. Dalton Ellen & Samuel E. Birdsell	Mary E. Hare
1944	Deed	14 Aug. 1903 24	Feb.	1904 Charles Grassie, et ux	Abraham Nevills

TOWNSHIP OF SOUTH GRIMSBY

Quantity of Land	Consideration	Lot, etc.	REMARKS
1 acre			No. 3074. in to 11 acres. 00
11 acres	\$ 475. ⁰⁰		
11 "	\$ 1544. ¹⁰		of No. 3074. Land in No. 60.
10 acres	\$ 400. ⁰⁰		of No. 2517. 00
1 Acre	\$ 150. ⁰⁰		Northerly part.
2 A. 90 Per.	\$ 256. ²⁵		Subject to legacies. House he now occupies.
1 A. 4 Sq. per.	\$ 103. ⁰⁰		Com. at N.W. angle Disciple Church Lot.
	\$ 500. ⁰⁰		Land in No. 1453. 00
	\$ 500. ⁰⁰		do. do. 00
1 acre	\$ 1300		of No. 1463. 00
1 "			Land in No. 1453.
55 "	\$ 1650		See Griffin St. Smithville for this Land.
55 "	\$ 1650		at N.W. corner & Land in 7 in 8th Cor.
55 "	\$ 1650.		Land in No. 1039.
9 "	\$ 300. ⁰⁰		Land in No. 60. Except Land conveyed to Ry. Co. & Jeremiah
4 9/100 "	\$ 22. ⁰⁵ / ₁₀₀		part of Land in No. 60.
2 1/2 + 4 1/2 acres	\$ 700. ⁰⁰		vesting the Lands therein in The Tor. H. & B. Ry. Co.
2 A. 90 Per. + 1 A. 4 Sq. per.	\$ 700. ⁰⁰		Land in Nos. 1454 & 1455.
38 Acres	\$ 300. ⁰⁰		Land in No. 15, 260. in 1865 except parts sold
38 "	\$ 250. ⁰⁰		" " " " " " " " " " " "
38 "	\$ 266. ⁴⁶		Land in No. 1708.
1/2 Acre	\$ 50. ⁰⁰		See Deed? Directors of the S. Grimsby
91 perches	\$ 1. ⁰⁰ / _{etc}		Butter Manufacturing Co. Ltd.
	\$ 1650. ⁰⁰		Land in No. 5935 in 1854.
	\$ 100. ⁰⁰		
5 Acres	\$ 320. ⁰⁰		Land in No. 1340.
			" " " " " " " " " " " "
			for life of person
			Supposed to be land in No. 1340
			Forwarded

MICROFILMED

Lot No. 7 in the 9th Concession

S. R. Hart & Co. No. 74485

No.	Instrument	Date	Registry	GRANTORS	GRANTEES
2000	L. C.	13 Nov. 1903 8	Mar.	1904 Michael James Dalton	Walter Herbert Birdsall
2068	Deed.	31 Dec. 1904 14	Jan.	1904 Eliza A. & Isaac A. Coon	Etta Fisher
2069	Mortg.	13 Jan. 1905 14	Jan.	1905 Etta Fisher	Eliza Ann Coon
2109	L. C. Deed.	9 June 1905 14	June	1905 Victor S. Teeter et al heirs Mary H. Teeter widow of Solomon Teeter	Philip T. Teeter
2191	L. of M.	19 Aug. 1905 2	Mar.	1906 Maria Eastman	Margaret E. Joe Martin
2206	B & S.	10 Mar. 1906 5	Apr.	1906 Robt. H. Kemp, Etr. of Eliza A. Hon- kle, Mary C. Teeter, Widow, Sarah A. Patterson, Spinster, Rachael Althouse, Widow, Adelaide A. Kemp, married woman, heirs heirs re Will of Eliza A Honkle, deceased	John S. & Margaret N. Davis
2207	Mortg.	31 Mar. 1906 5	Apr.	1906 John S. & Margaret N. Davis	Sarah McLean
2224	B & S.	18 May 1906 19	June	1906 Isaac Wardell, Charles Shinton Elijah Durham, Adolphus Middaugh Jas. H. Trembley, Directors, South Grimsby Cheese & Butter Manfg. Co.	Welfred L. Harrington
2253	L. of M.	19 July 1906 5	Oct	1906 Eliza A. Coon	Etta Fisher
2258	L. of M.	12 Oct. 1906 15	Oct.	1906 Moses Lounsbury	Helen Roberts
2304	Mortg.	24 Jan. 1907 28	Jan.	1907 Welfred L. Harrington	Robt. C. & Ellis W. Murgatroyd
2340	Mortg.	23 Aug. 1907 24	Aug.	1907 do do do et al	John S. Moffatt
2383	L. C.	3 Oct. 1907 10	Oct.	1907 Mudgeley & Martha Murgatroyd	Robert Murgatroyd
2385	B & S.	14 do. 1907 30	do.	1907 Etta Birdsall, Samuel C. Bird -sall, & Walter H. Birdsall et al	Sarah E. Bruner
2386	Mortg.	19 Oct. 1907 4	Nov.	1907 Sarah E. & R. S. Bruner	Etta & Walter H. Birdsall
2400	Mortg.	26 Nov. 1907 16	Dec.	1907 Welfred L. Harrington et al	William Michener
2431	B & S.	5 May 1908 7	May.	1908 Philip T. Teeter et al	John Paterson
2585	B & S.	19 Oct. 1909 21	Oct.	1909 Welfred L. Harrington et al	Alfred H. & Mary A. Symburner
2586	Mortg.	19 do. 1909 21	do.	1909 Alfred H. & Mary A. Symburner	Welfred L. Harrington
2642	B & S.	22 Mar. 1910 24	Mar.	1910 John Patterson et al	Jas. D. C. Macmurchie
2689	L. of M.	25 Sep. 1910 5	Nov.	1910 John S. Moffatt	Wm. Michener
2782	Mortg.	5 Aug. 1911 16	Nov.	1911 J. D. C. Macmurchie et al	H. A. Macmurchie, Widow
2818	L. of M.	24 Jan. 1912 30	Jan.	1912 Welfred L. Harrington	Alfred H. & Mary A. Symburner
2840	Agreement	24 Mar. 1912 12	Apr.	1912 Robert C. & Ellis W. Murgatroyd	Wm. Michener
2931	B & S.	25 Sep. 1912 2	Oct.	1912 Wm. M. McLean, Etr. of Sarah McLean, deceased & Teressa McLean of 3rd Part	Endymon D. Armstrong
2932	Mortg.	25 Sep. 1912 2	Oct.	1912 Endymon D. Armstrong et al	William S. Hibbard
2933	B & S.	27 Jan. 1912 23	Oct.	1912 Alfred H. Symburner et al Mary A. Symburner	William Michener
2934	B & S.	31 Oct. 1912 1	Nov.	1912 Etta & John C. Fisher	Frederick Joyner

Lot No. 7 in the 9th Concession

S. R. Hart & Co. No. 1418

No.	Instrument	Date	Registry	GRANTORS	GRANTEES
✓ 2961	Mortg.	1 Oct. 1912 12	Nov. 1912	Endymon D. Armstrong, et al.	Hannah J. Harding, married
2973	B+S	7 Dec. 1912 26	Dec. 1912	James D. C. Macmurchie et al.	Alfred Shrumm
✓ 2974	S of M.	11 Dec. 1912 26	Dec. 1912	James D. C. Macmurchie, et al.	W. B. Thompson & Co.
✓ 2981	S of M.	17 Dec. 1912 11	Dec. 1912	James D. C. Macmurchie, et al.	W. B. Thompson & Co.
2999	B+S	9 Dec. 1915 8	Mar. 1913	Hugh J. Bridgman, et al.	Toronto, Hamilton & Buffalo Ry. Co.
3150	Mortg.	23 May 1914 5	June 1914	W. B. Thompson, et al.	Alfred Shrumm
3166	B+S	1 Aug. 1914 14	Aug. 1914	Philip J. Teeter, et al.	Floretta & Cora Bartlett, Spinners jointly & as tenants in common
✓ 3167	Mortg.	1 Aug. 1914 14	Aug. 1914	Floretta & Cora Bartlett, Spinners	Nathaniel P. Henning
3182	B+S	27 Aug. 1914 19	Sept. 1914	Abraham J. Nevills, et al.	The Erie & Ontario Railway Co.
3206	B+S	27 Aug. 1914 28	Oct. 1914	Wm. H. & Sydney A. Morgan & wives	The Erie & Ontario Railway Co.
3209	B+S	23 May 1914 30	Oct. 1914	Alfred Shrumm, et al.	W. B. Thompson
3210	Mortg.	23 May 1914 30	Oct. 1914	W. B. Thompson, et al.	A. B. Bartlett
3216	B+S	9 Dec. 1914 18	Dec. 1914	Abraham J. Nevills, et al.	The Erie & Ont. Ry. Co.
✓ 3251	S of M.	17 Mar. 1915 19	Mar. 1915	James D. C. Macmurchie, et al.	W. B. Thompson & Co.
3259	B+S	12 Mar. 1915 20	Mar. 1915	James D. C. Macmurchie, et al.	William B. Thompson
3306	B+S	5 June 1915 19	June 1915	Frederick Joyner, et al.	Almon B. Bartlett & Wm. B. Thompson
3342	B+S	1 Oct. 1915 10	Nov. 1915	Philip J. Teeter, et al.	Robert E. Book
3384	B+S	14 Mar. 1916 25	Mar. 1916	Mary H. Bridgman, widow & John B. Brant	Robert E. & Ellis W. Mur- gatroyd
3422	Mortg.	20 May 1916 1	June 1916	Robert E. Book, et al.	Barnes Merritt
✓ 3458	Mortg.	5 Sep. 1916 5	Sept. 1916	Robert E. Book, et al.	John A. & Dorwin K. Book
✓ 3472	S of M.	20 Dec. 1916 21	Dec. 1916	Nathaniel P. Henning	Floretta & Cora Bartlett
3528	A of M.	31 Mar. 1917 10	Apr. 1917	Teresa M. Lean, widow	John S. Davis
3593	B+S	23 Nov. 1917 24	Nov. 1917	Frederick Joyner, et al.	Almon B. Bartlett & William B. Thompson
✓ 3680	D of M.	29 Aug. 1918 30	Aug. 1918	John A. Book	Robert E. Book & Dorwin K. Book
4050	A of M.	19 Apr. 1920 20	Apr. 1920	Barnes Merritt	Robert E. Book
4104	Agreement	17 Mar. 1921 29	Mar. 1921	Philip J. Teeter	Barnabas E. Roszel
4150	Grant	2 May 1921 28	May 1921	Philip J. Teeter et al.	Barnabas E. Roszel
4268	Mortg.	29 Aug. 1922 31	Aug. 1922	Charles E. Brunner, wife of Robt. E. Brunner & Robt. E. Brunner	James D. Book
4404	D of M.	20 Dec. 1922 21	Dec. 1922	A. B. Bartlett	W. B. Thompson
4405	D of M.	21 Dec. 1922 21	Dec. 1922	Alfred Shrumm	W. B. Thompson
4419	Mortg.	31 Dec. 1922 22	Jan. 1923	Sanitary Dairy Limited	Wm. B. Thompson
4418	Grant	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4430	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4431	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4432	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4433	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4434	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4435	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4436	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4437	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4438	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4439	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4440	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4441	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4442	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4443	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4444	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4445	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4446	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4447	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4448	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4449	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.
4450	Mortg.	31 Dec. 1922 25	Jan. 1923	William B. Thompson et al.	Sanitary Dairy Ltd.

ORIGINALLY:

The Province of Ontario

claims no lien against this

parcel under The

RECENTLY:

PARCEL :

SECTION :

29-1

M-90

any Previous Ownership.

ESTATE: FEE SIMPLE

TO: THE RESERVATIONS, LIMITATIONS, PROVISOS AND CONDITIONS EXPRESSED IN THE GRANT FROM THE CROWN, AS VARIED BY STATUTE;

THE OVERRIDING PROVISIONS OF THE LAND TITLES ACT AND OF ANY OTHER ACT; AND THE ENCUMBRANCES RECORDED BELOW.

PARCEL REGISTER
LAND TITLES DIVISION OF NIAGARA NORTH (No.30)

TITLE: ABSOLUTE

PAGE 1

PARCEL 29-1

SECTION M-90

SUBJECT TO SUBSEQUENT ENTRIES THIS PARCEL IS COMPRISED OF THE FOLLOWING LAND

LEGAL DESCRIPTION	Los 29 and 30 on Plan M-90 in the Township of West Lincoln, in The Regional Municipality of Niagara, registered in the Land Registry Office for the Land Titles Division of Niagara North (No.30), at St. Catharines.						
27287	Agreement	7 Apr 1958	15 Apr 1958	JOSEPH RETHAZY and ROY W. McCOLLUM	THE CORPORATION OF THE TOWNSHIP OF SOUTH GRIMSBY	\$1.00	The whole parcel.
99476	Agreement	5 Apr 1958	6 Dec 1963	JOSEPH RETHAZY and ROY W. McCOLLUM	THE CORPORATION OF THE TOWNSHIP OF SOUTH GRIMSBY	\$1.00	The whole parcel.
D-16	Application			THE LINCOLN COUNTY BOARD OF EDUCATION (Owner) DATED at St. Catharines 1st October 1978.			
<p>PLAN UNDER THE BOUNDARIES ACT</p> <p>Plan B-1 1687 registered 16 Feb 1988 as Plan M-90.....</p> <p>and the boundaries of the ground shown on the boundaries</p> <p>of the Township of South Grimsby, in the Township of South Grimsby,</p> <p>as shown on the Order of the Director of Titles under The Boundaries</p> <p>Act of 1979.</p> <p>A future plan shall not be registered unless the description contained</p> <p>therein conforms and refers to Plan B-1 1687.</p>							
MICROFILMED							
<p>NOTICE</p> <p>As of</p> <p>OCT 27 1997</p> <p>the land in this parcel / index is</p> <p>recorded in the designated parcel register</p> <p>set out in Subsection 141a(5) of the</p> <p>LAND TITLES ACT.</p>							
REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE (APPLICANT, CAUTIONER, CLAIMANT, ETC.)	CONSIDERATION ETC.	LAND - REMARKS - SIGNATURE

Authorized Signing Officer.

LH:n1

CONTINUED ON PAGE

SECTION: M-90

any Previous Ownership

১৯৮৩

LAND TITLES DIVISION OF

PARCEL REGISTER

FROM THE CROWN AS VAR

PARCEL 31-1

SECTION M-90

SUBJECT TO SUBSEQUENT ENTRIES THIS PARCEL IS COMPRISED OF THE FOLLOWING LAND

LEGAL DESCRIPTION		Lot 31 on Plan M-90 in the Township of West Lincoln, in The Regional Municipality of Niagara, registered in the Land Registry Office for the Land Titles Division of Niagara North (No.30), at St. Catharines.					
27287	Agreement	7 Apr 1958	15 Apr 1958	JOSEPH RETHAZY ROY W. McCOLLUM	THE CORPORATION OF THE TOWNSHIP OF SOUTH GRIMSBY	\$1.00	Part of the parcel
99476	Agreement	5 Aug 1958	6 Dec 1963	JOSEPH RETHAZY ROY W. McCOLLUM	THE CORPORATION OF THE TOWNSHIP OF SOUTH GRIMSBY	\$1.00	Part of the parcel
D-16	Application			THE PUBLIC SCHOOL BOARD OF THE TOWNSHIP SCHOOL AREA OF THE TOWNSHIP OF SOUTH GRIMSBY (Owner)			
				DATED at St. Catharines 1st October 1978			
							<i>[Signature]</i> Authorized Signing Officer.
<div style="border: 1px solid black; padding: 5px;"> <p>NOTICE UNDER THE FOUNDATIONS ACT</p> <p>Shall 1687 registered 6 Feb 1980 of Plan 4-90</p> <p>of the Township of West Lincoln in the Regional Municipality of Niagara North</p> <p>of the Director of Titles under the Foundations</p> <p>Act of 1979</p> <p>A plan or map shall not be registered unless the description contained</p> <p>therein conforms and refers to Plan EA 1687</p> </div>							
MICROFILMED							
NOTICE As of OCT 27 1997 the land in this parcel / index is recorded in the automated parcel register set out in Subsection 141a(5) of the LAND TITLES ACT.							
REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE (APPLICANT, CAUTIONER, CLAIMANT, ETC.)	CONSIDERATION ETC.	LAND - REMARKS - SIGNATURE

Life

Appendix C: DSBN College Street Property Information Package



PROPERTY INFORMATION

COLLEGE STREET PUBLIC SCHOOL

132 College Street, Smithville, ON L0R 2A0



Index

1. College Street Public School Overview	Page 1
2. Statistical Data	Page 1
3. Operational Costs.....	Page 2
4. Capital Costs and Improvements	Page 2
5. Audits and Reports.....	Page 2
6. Appendices	
A. Floor Plans	
B. Site Plan	

1. COLLEGE STREET PUBLIC SCHOOL OVERVIEW

College Street Public School is owned by the District School Board of Niagara and was used as an elementary school.

The facility, constructed in 1921 with additions in 1959 and 1967, is a brick building with four levels and has a gymnasium and stage, a library, 21 classrooms, a staff room and office space.

The site is relatively flat and contains a large open area at the rear of the property. There are 34 parking spaces in the asphalt parking lot. There is a townhouse complex to the south and residential properties to the north and east.

The total floor area is 44,152.50 square feet and with a site size of approximately 4.4 acres.

2. STATISTICAL DATA

<u>Official Address:</u>	132 College Street, Smithville, ON L0R 2A0
<u>Current Registered Owner:</u>	District School Board of Niagara
<u>Legal Description:</u>	PIN 46050-0263 LT School and Playground - Lts 29 & 30 PI M90 as confirmed by PI 30BA1687; Lt 31 PI M90 as confirmed by PI 30BA1687; t/w easement over Pt Lt 42 PI M90, Pts 1 & 2 on PI 30R12123 as in NR154973; Township of West Lincoln
<u>Zoning:</u>	Residential Medium Density, Environmental Conservation
<u>Official Plan Designation:</u>	Institutional and Natural Heritage Systems
<u>Site Dimensions:</u>	The subject property is a 'L' shaped lot and consists of approximately 4.4 acres of land with a frontage on the east side of College Street of 340 feet. It has a north boundary of 327 feet facing Morgan Avenue. The property has an easterly boundary of 205 feet and a southern boundary of 729 feet. The boundary dimensions are approximate.
<u>Site Area:</u>	4.4 acres (approx.)
<u>Building Area:</u>	44,152.50 square feet
<u>Date of Construction:</u>	1921 Additions: 1959, 1967
<u>Utilities:</u>	Sanitary Sewer, Municipal Water, Hydro, Natural Gas
<u>Security System: Parking</u>	Presently monitored by PasWord Security
<u>Spaces:</u>	34

3. OPERATIONAL COSTS

	2016-2017	2015-2016
Maintenance Repairs	\$57,630	\$56,235
Property Services	5,072	4,416
Utilities:		
Electricity	25,603	27,666
Natural Gas	12,063	12,994
Water	13,424	10,900
TOTAL	\$113,792	\$112,211

4. CAPITAL COSTS AND IMPROVEMENTS

Year	Description	TOTAL
2007	Playground surface reconstruction	\$27,151
2009/2010	Window & door replacement	185,518
2011	Paving	15,171
2011/2012	Heating plant replacement	196,456
2012	Roof replacement	88,148
2013	Intrusion alarms	11,452
2015	Hallway flooring	<u>13,980</u>
TOTAL		<u>\$537,876</u>

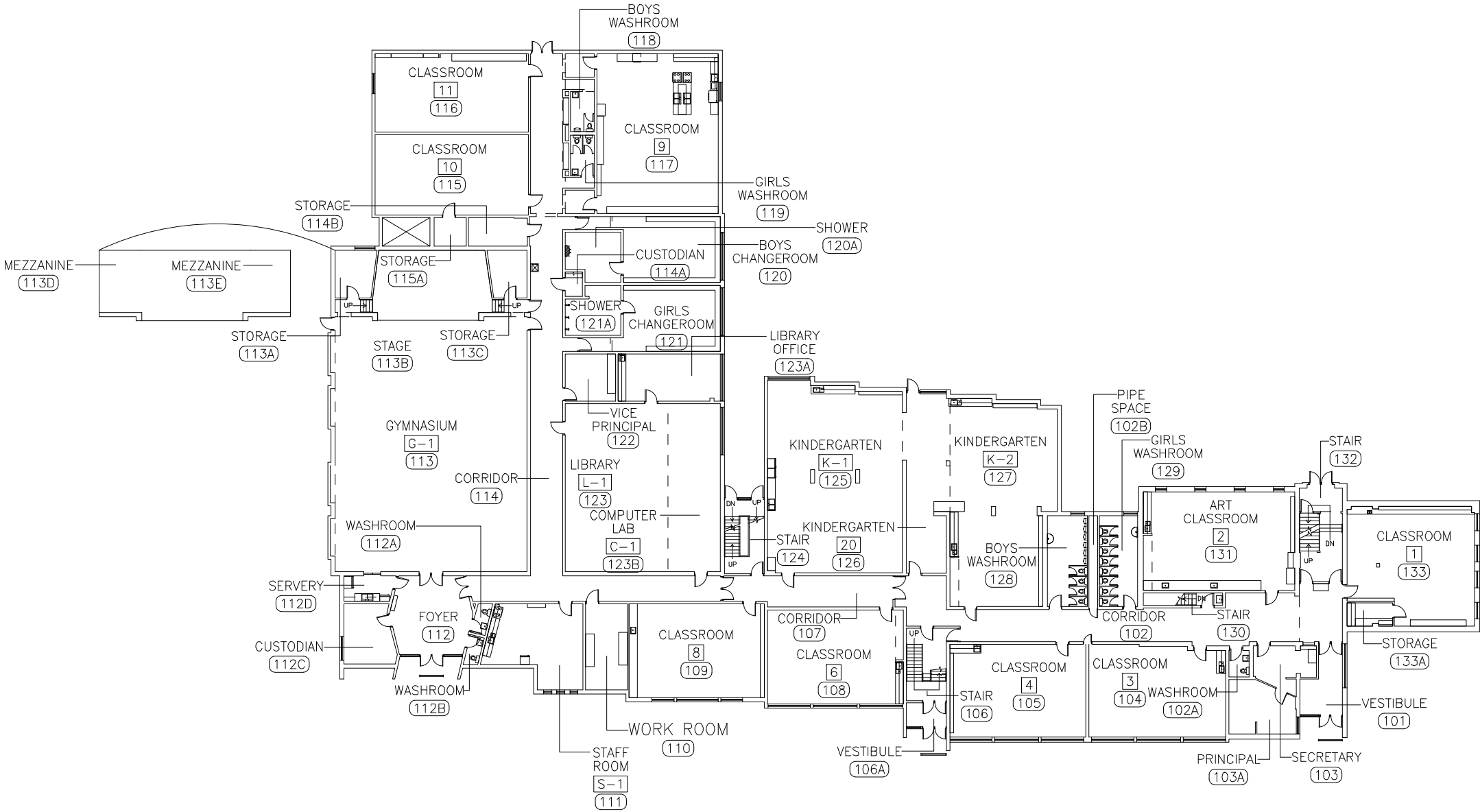
5. AUDITS AND REPORTS (if any)

DSBN's consultant conducted a re-assessment July 7, 2017 to determine the condition of asbestos containing materials in the school. The result of their report indicated that the asbestos containing materials are in good condition, and no remedial activities were required.

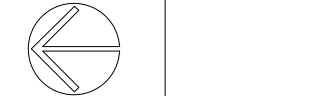
6. APPENDICES

- A. Floor Plans
- B. Site Plan

- (12) ARCHITECTURAL ROOM NUMBER
- (12) PLANT AREA NUMBER



2014



REV	DATE	DESCRIPTION	BY	CHKD

COLLEGE STREET ELEMENTARY
132 College Street, Smithville, ON.

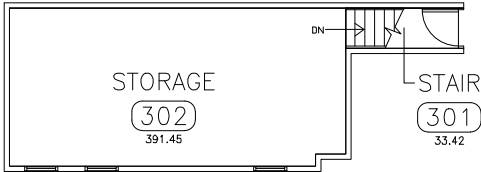
TITLE
FIRST FLOOR PLAN
ARCHITECTURAL

SCALE: 1/16"=1'-0"
DRAWN: DMS
DATE: SEP-95
CHKD: DMS
DATE: JAN-00
APPRD: DMS
DATE: JAN-00
CONTRACT No. 00
DWG No. A1
REV

- 12

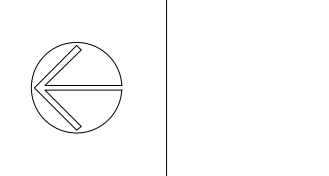
 ARCHITECTURAL ROOM NUMBER
- 12

 PLANT AREA NUMBER



2014

REVISION DATE: OCTOBER 2013
THE INFORMATION CONTAINED IN THIS DRAWING HAS BEEN UPDATED USING DATA COLLECTED
FROM THE DISTRICT OF CANTON, NEW YORK, AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.
ANY REVISIONS TO THIS DRAWING SHALL BE FORWARDED TO SUPERVISORS, TECHNICAL STAFF,
AND ENGINEERS, INC. - 10M



REV	DATE	DESCRIPTION			BY CHW

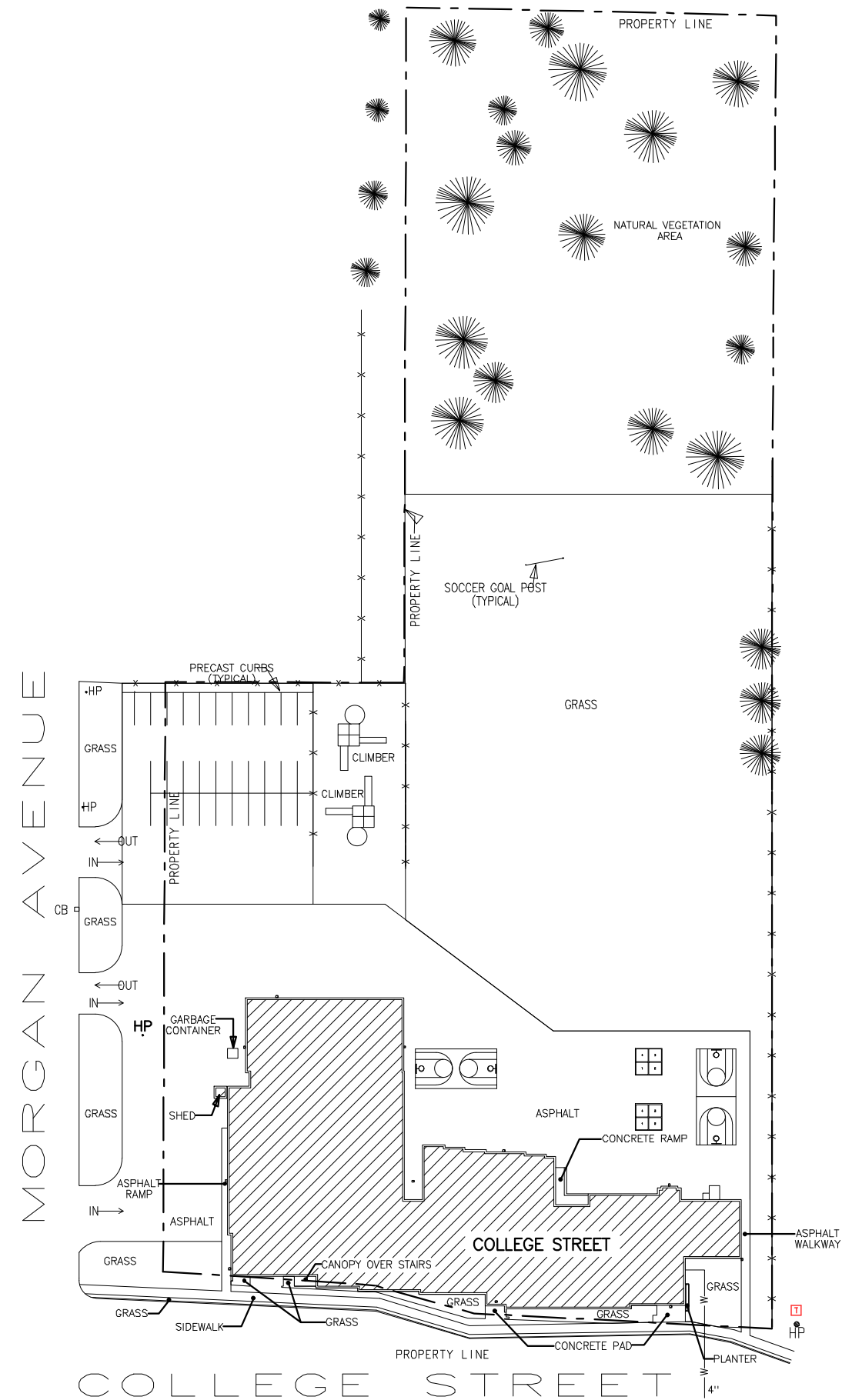
COLLEGE STREET ELEMENTARY 132 College Street, Smithville, ON.					
TITLE THIRD FLOOR PLAN ARCHITECTURAL					
SCALE: 1/8"=1'-0"	DRAWN: CHW DATE: SEP 05	CHW: DMS DATE: JAN 00	APPROV: DMS DATE: JAN 00		
CONTRACT No.	025	DWG No.	A3	REV	



12 PLANT AREA NUMBER





EV	DATE	DESCRIPTION						BY	CHECK
COLLEGE STREET ELEMENTARY 132 College Street, Smithville, ON.									
TITLE BASEMENT FLOOR PLAN ARCHITECTURAL									
SCALE:		DRAWING DATE:		CNOC SEP 85	CNOK DATE:	DMS JAN 00	APPROV DATE:	DMS JAN 00	
1/8"=1'-0"		D25		DWG No		BS		REV	
CONTRACT No.									







APPENDIX B



SITE PLAN LEGEND	
—— — —	PROPERTY LINE
——H——	HYDRO ABOVE GROUND
- - - H - - -	HYDRO BELOW GROUND
——T——	TELEPHONE SERVICE
——C——	GAS LINE
——W——	WATER PIPE
——S——	SANITARY DRAINS
——ST——	STORM SEWERS
——X——	FENCE
	BASKETBALL HOOP
⊙	GAS METER
HP	HYDRO POLE
MH	MANHOLE
CB	CATCH BASIN
	TRANSFORMER

2014		REVISIONS: DSN1, AUGUST 2008 THE INFORMATION CONTAINED IN THIS DRAWING HAS BEEN UPDATED UTILIZING DSN1 COLLECTED FROM A VISUAL SURVEY OF FIELD CONDITIONS. ANY RELATED CHANGES OR DISCREPANCIES SHOULD BE FORWARDED TO COMMUNICATIONS@DISTRICTSDBN.ORG DSN1 TECHNOLOGIES INC. - 2008	
 <div style="display: inline-block; vertical-align: middle; text-align: left;"> DISTRICT SCHOOL BOARD OF NIAGARA <i>Achieving success together</i> www.dsnb.org </div>			
			
REV	DATE	DESCRIPTION	BY CHKD
COLLEGE STREET PUBLIC 132 College Street, Smithville, ON.			
TITLE SITE PLAN			
SCALE: 1" = 80' - 0"	DRAWN: DATE: CORC: SEP 06	CHKD: DWS DATE: SEP 02	APPROV: DWS DATE: SEP 02
CONTRACT NO. COLSTSP	DSN No.	S1	REV

Appendix D: Interior Photos

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
First Floor					
1885/1887, 1959, 1967, and 1969	Corridors	Corridors 102, 107, and 114	The first floor is laid out in an L-Shaped plan connected by three long corridors (Corridors 102, 107, and 114). The corridor includes sections of the 1885-1887 (original construction), and the 1959, 1967 and 1969 additions. The section of the corridor from the original construction features grey speckled laminate tile flooring with black vinyl trim and walls covered in drywall. Moving northwards down the corridor a visible transition occurs, marked by the notable disuse of black vinyl trim, in which the flooring transitions to a mix of brown/black speckled laminate tile flooring on light grey base bordered by a speckled pink laminate. This pink pattered tiling transitions seamlessly into the baseboard and the walls consist of a mix of painted brick and concrete blocks. This floor/wall pattern is utilized in both the 1959 and 1967 corridors. The transition to the 1969 addition is identified when approaching the double door entrance to the foyer when the wall transitions to a two tone, lower blue and upper white, painted concrete block. All corridors are lit by recessed fluorescent lighting.		
				Corridor 102	Corridor 107
					
				Corridor 114	Corridor 114
1885/1887	Art Classroom 2	131	Art Classroom 2 features a rectangular floor plan and is accessible by a single wooded doorway with a single-light molded transom. The tiling in this room is consistent with the laminate flooring associated with the 1885-1887 corridor. Four long six-light rectangular windows are depicted within the classroom all featuring painted moulded wood trim with interior metal storm window inserts and suspended fluorescent lighting. The 1921/1924 classroom, identified as Classroom 1 (Number 133) in the floor plan, includes similar window trim and floor finishings.		
				Art Classroom 2 (Front)	Art Classroom 2 (Back)

Corridor 102




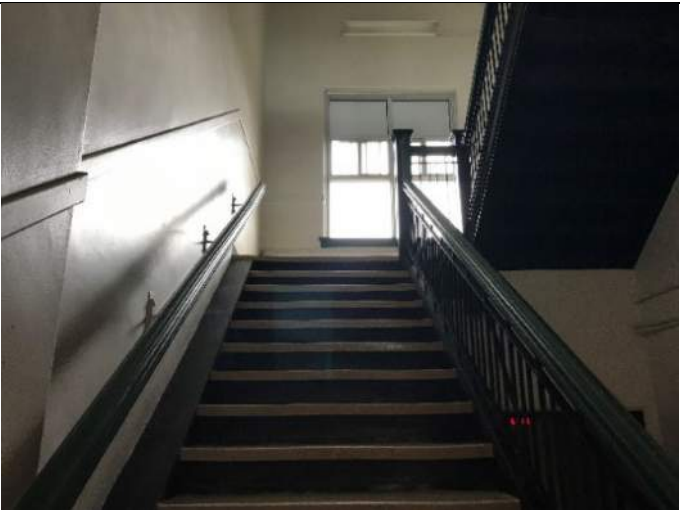
Corridor 107




Corridor 114







Corridor 114





Art Classroom 2 (Front)







Art Classroom 2 (Back)







Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
					
				Windows in Art Classroom 2	Moulded trim in Art Classroom 2
1885/1887	Stair	132	Situated between Art Classroom 2 and Classroom 1 is a stairwell, identified as 132 in the floor plan. The stairwell contained green metal handrails, box newel posts, balustrades, and stairway skirtboards. The walls of the stairway featured a simple wooden chair rail.		
				Transition between first and second floors of Stair 132	View of Stair 132



Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)
1959	Principal and Secretary	103A and 103	The principal and administrative offices are laid out in an L-shaped plan. These offices include a desk that facing a series of multi-light windows by the vestibule. The principal's office, located directly west of the administrative work area, is enclosed in by temporary panel walls. Unique items within this space include an intercom system, located directly outside the principal's office.	<div><p>View of the Secretary Office (left) and Principal's Office (right)</p></div> <div><p>Principal's Office</p></div> <div><p>Intercom system</p></div>




Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
1959	Classroom 3, Classroom 4, and Classroom 6	104, 105, and 108	Classroom 3 contains grey speckled laminate tile flooring and black vinyl trim and exposed wood beams. Wall treatments in this room consist of painted concrete blocks and drywall. The windows in this space consist of large square one-over-two sash windows with metal trim. A unique feature of this classroom is the chalkboard/cork board with wood moulding. The layout and finishes of Classrooms 4 and 6 are the same as Classroom 3.		
				Classroom 3 (Front)	Classroom 3 (Back)
					
				Slate chalk board in Classroom 3	Wood beams in Classroom 3
1959	Boys Washroom	128	The Boys Washroom is accessed by a wood doorway with a square glass side panel and black trim. The interior layout includes four stalls, six urinals, and a vanity with a single sink. The walls are white painted concrete block.		
				View of the Boys Washroom from the door	Boys Washroom

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
1959	Girls Washroom	129	The Girls Washroom is accessed via a wood door with rectangular transom and flat trim. The washroom contains eight stalls, a vanity with double sink, and two tone (lower pink and upper white) concrete block walls.		 Girls Washroom
1959	Pipe Space	102B	Between the girls and boy's washroom is a pipe space with remnant breaker box on concrete blocks. There is a shallow utility closet across from the pipe space.		 Shallow utility closet

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
1967	Kindergarten K-1, Kindergarten K-2, and Kindergarten 20	125, 126, and 127	The Kindergarten Classroom is a large L-shaped room that includes two classrooms and an office. This room has grey speckled vinyl flooring, a large L-shaped chalkboard with moulded wood trim, wooden cubbies, several sets of wooden cabinets, and two large murals. The kindergarten classroom features three rectangular and one square concrete support pilasters and the walls in this space consist of a mix of painted concrete blocks and painted veneer brick. The office space is simple and accessible via the hallway corridor directly across from the glass paneled doorway to the rear asphalt play area.		
				Kindergarten K-2	View from Kindergarten K-2 to K-1
					
				View from Kindergarten K-1 to K-2	Kindergarten K-1
					
				Kindergarten 20 (Office)	Door to playground from Kindergarten K-1

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
1967	Stair	124	Stair 124 features a metal railing and balustrades with predominately white painted concrete block walls. A change occurs on the upper stairwell landing which contains thirteen glass blocks framed in the painted concrete.		
				Transition between floors in Star 124	Stair 124
1967	Classroom 8	109	Classroom 8 features a rectangular plan and is accessible from a simple wooden doorway with long rectangular glass panel. The wall treatments include a mix of a painted blue brick accent wall and white painted concrete blocks. The window frames and trim are the same as those in the 1959 classrooms.		
				Classroom 8 (Front)	Classroom 8 (Back)
1967	Work Room	110	The work room is a simple rectangular room with the same style doorway as Classroom 8. Interior finishes include painted concrete block walls, wood cabinets, laminate floors, fluorescent lighting, and a drop ceiling.		
				Work Room (Back)	Work Room (Front)

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)
1967	Plaques	n/a	The 1967 addition is marked with a commemorative plaques that identify L. M. Huget B. Arch as the architect.	 <p>1967 Plaque</p>
1969	Staff Room	111	The Staff Room has an L-shaped plan. Interior finishes include concrete walls painted blue, laminate floors, fluorescent lighting, and a ceiling fan. A set of wooden cupboards with a sink and dishwasher is located on the north side of the room and a mail cubby is located on the east side of the room.	 <p>View of the Staff Room</p>

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
					
1969	Foyer	112	The Foyer is an open space that provides access to two washrooms, a custodial room, a servery, and two sets of double doors, the first leading to the gymnasium and the second leading outside to Morgan Avenue. Additional items within the foyer include a glass display case and a 1969 commemorative plaque identifying L. M. Huget B. Arch as the architect of the addition. Interior finishes include terrazzo floors, painted concrete block walls, a drop ceiling, and fluorescent lighting.		






Kitchenette in the staff room



Mail cubby in the staff room





View of the Foyer






Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
					
1969	Servery	112D	The Servery is a small room located off the Foyer. Interior finishes include painted concrete block walls, fluorescent lighting, a kitchenette, and terrazzo floors.		





Glass case in the Foyer





Doors to the Gymnasium from the Foyer





Servery




Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)
1969	Custodian	112C	The Custodian room is accessed from the Foyer. Interior finishes include concrete block walls, fluorescent lights, and a supply closet.	 <p>Custodian Room</p>
1969	Washrooms	112A and 112B	Two washrooms are located on the south side of the Foyer. The interior finishes of the washrooms include concrete block walls, fluorescent lighting, a sink, and a toilet.	 <p>Washroom located off the Foyer</p>







Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
1969	Library	123	The library consists of a large rectangular space with grey speckled laminate tile flooring bordered by dark grey speckled laminate tile. Interior finishes include painted concrete block walls and fluorescent lighting.		
				View of the Library	
					
Library		Library			
1969	Library Office	123A	The Library Office is located on the easternmost side of the library and features a large rectangular multi-light window with metal trim, wooden cabinets and a white countertop with a single sink		
				Library Office	
					
				Desk and cabinets in the Library Office	







Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
1969	Gymnasium G-1	113	The gymnasium has a rectangular shaped plan, multi-toned concrete walls, vinyl gymnasium flooring, six wall-mounted basketball nets, a mezzanine/stage at the westernmost edge of the room accessible by doorways on either side of the stage, and a large school plaque centered above the stage. Located on the partitions between the stage and side doorways are matching decorative concrete detailing. A moveable wooden podium with a small school crest is centered on the stage and a loft area is located on the northernmost side of the stage.		
				Gymnasium	View of gymnasium looking toward the mezzanine/stage
					
				Concrete detailing in the gymnasium	School crest in the gymnasium





Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
1969	Mezzanine	113E	A mezzanine is located on the east side of the gymnasium. The stage/mezzanine is accessed by two sets of stairs. Interior finishes include wood floors, stage curtains, and concrete block walls.	 View of the mezzanine/stage	 Stairs connecting the gymnasium to the mezzanine
n/a	Lectern	n/a	A solid wood lectern with a school crest is located in the mezzanine.	 Lectern in the mezzanine	 School crest on the lectern




Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
1969	Storage Room	114	A small storage room is located at the rear of the mezzanine. Interior finishes include a brick wall, concrete block wall, and building infrastructure.		
				Storage room	
1969	Boys Changeroom and Girls Changeroom	120 and 121	There are two change rooms located next to the gymnasium. Both change rooms have the same interior finishes, including laminate floors, a drop ceiling, fluorescent lighting, wood benches, and a wood rail with hooks.		
				View of the Boys Change Room (back)	Boys Change Room (front)
1972	Classroom 9, Classroom 10, and Classroom 11	115, 116, and 117	Classroom 9 (the Laboratory) is a large, rectangular shaped classroom with two entryways. This classroom and the two directly across the hallway mark the last addition of the first floor (1972). Classroom 9 has simple grey speckled laminate tile, painted precast concrete blocks and is bounded by a variety wooden cupboards/cabinet with white countertops on each wall and rectangular fluorescent downlights. Classrooms 10 and 11 have the same interior finishes as Classroom 9.		
				Classroom 9 from the doorway	




Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)
				<div><p>Classroom 9 showing wood cabinets and learning stations</p></div> <div><p>Wood cabinets in Classroom 9</p></div> <div><p>Sink and workstation in Classroom 9</p></div>





Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
Second Floor					
1885/1887, 1959, 1967	Corridors	n/a	The second floor has an irregular plan that is connected by a multi-level corridor. The corridor connects the original 1885/1887 school to the 1921/1924, 1959, and 1967 additions. Similar to the first floor, the corridor finishes include grey speckled laminate tile flooring, black vinyl trim, and walls covered in drywall. Moving northwards down the corridor a visible transition occurs, marked by the transition of tan speckled laminate tile flooring bordered by a speckled pink laminate. The walls in this 1959 section feature two-tone, lower beige and upper white, precast concrete blocks. The flooring in the 1967 addition is consistent with the 1959 addition however the two-town walls consist of a lower blue pattern, matching the first level. The end of the corridor features seven decorative glass blocks framed in concrete and similar to the first floor is lit by recessed fluorescent lighting.		
				Corridor in the 1885/1887 section of the second floor	Corridor between the 1885/1887 and 1959 sections of the second floor
					
				Double glass door between the 1959 and 1967 sections of the buidling	Concrete blocks with glass blocks at the end of the 1967 corridor
1885/1887	Classroom	217	The second-floor classroom from the 1885/1887 building section includes the same design and finishes as the first floor 1885/1887 classroom. Interior finishes include laminate floors, a drop ceiling, fluorescent lights, moulded window frames, chalk boards, and wood cabinets. The moulded window frames appear to be original.		

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
				Classroom 217	Windows in Classroom 217
1921/1924	Classroom	202	The second-floor classroom in the 1921/1924 section of the building includes laminate floors, a drop ceiling, chalkboards, and built-in wood cabinets. The window surrounds in this classroom appear to original and date to the 1920s but the windows have been replaced.		
				Classroom 202 (Front)	Classroom 202 (East wall)
1959	Classrooms 205, 208, 209, and 214	205, 208, 209, and 214	There are four classrooms that date to the 1959 period on the second floor. All are similar in layout and design and include laminate floors laid out in a checker pattern, drop ceilings with wood beams, suspended fluorescent lighting, wood cabinets, and corkboard/white boards/chalk boards.		
				Classroom 205 (Front)	Classroom 205 (Back)
1967	Classrooms 210 and 212	210 and 212	There are two classrooms that date to the 1967 period on the second floor. Both are similar in layout and design to the 1959 classrooms and include laminate floors laid out in a checker pattern, drop ceilings with wood beams, suspended fluorescent lighting, wood cabinets, and corkboards/white boards/chalk boards.		

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
				Classroom 212 (Front)	Classroom 212 (Back)
Third Floor					
1885/1887	Stair 301	301	Stair 301 connects the second floor to the third-floor storage room. The stairs have two wood handrails, wood trim, and are covered in brown mosaic tile.		
				Stair between the second and third floors	Detail of Stair 301
1885/1887	Storage	302	The third-floor storage room dates to 1885/1887 and is relatively intact. Interior finishes include laminate floors, wood shelves, and two original windows with moulded trim. Access to the attic is located in the ceiling.		
				Third floor storage room	Attic access from the third floor

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
				 Original 1885/1887 third floor window	 Detail of original window surround
Basement					
1885/1887	Mechanical Rooms and Stairwell	005, 005A, and 001	The 1885/1887 section of the basement includes two mechanical rooms, a water tank room, and a stairwell. This mechanical rooms house a variety of equipment, building infrastructure, and water and electrical systems. This basement has a mix of stone foundations, brick foundations, and concrete foundations.	 Mechanical Room 005	

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
					
				Mechanical Room 2005A	
					
				Detail of stone foundations	Stair 001

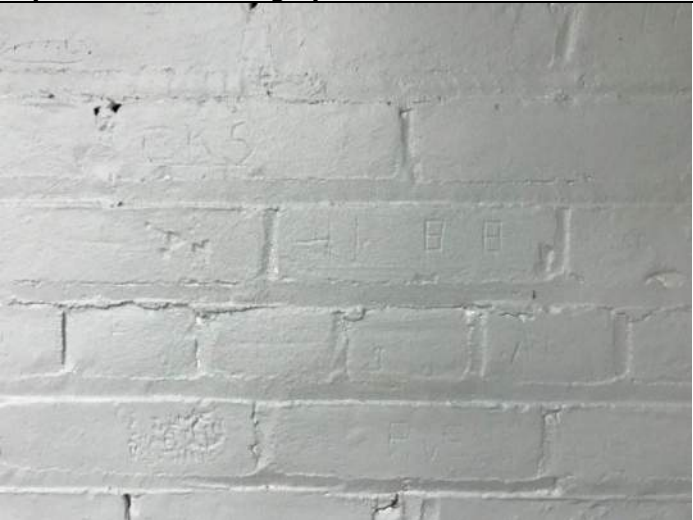





Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
1885/1887	Water Tank Room	004	The Water Tank Room is accessible via a large red metal door stamped with ' <i>Thos Irwin & Son Limited. Mfors. Hamilton Ontario</i> '. The Water Tank Rom is a small space with a concrete floors and concrete block partitions.		
1921/1924	Custodian Room and Storage Rooms	002, 002A, 003, and 003A	The storage rooms contain a mix of brick and concrete block foundations with and multiple windows with original wood trim. Multiple signs of student graffiti are evident on the painted brick walls of the storage rooms.		

Red metal door between Mechanical Rooms and Water Tank Room

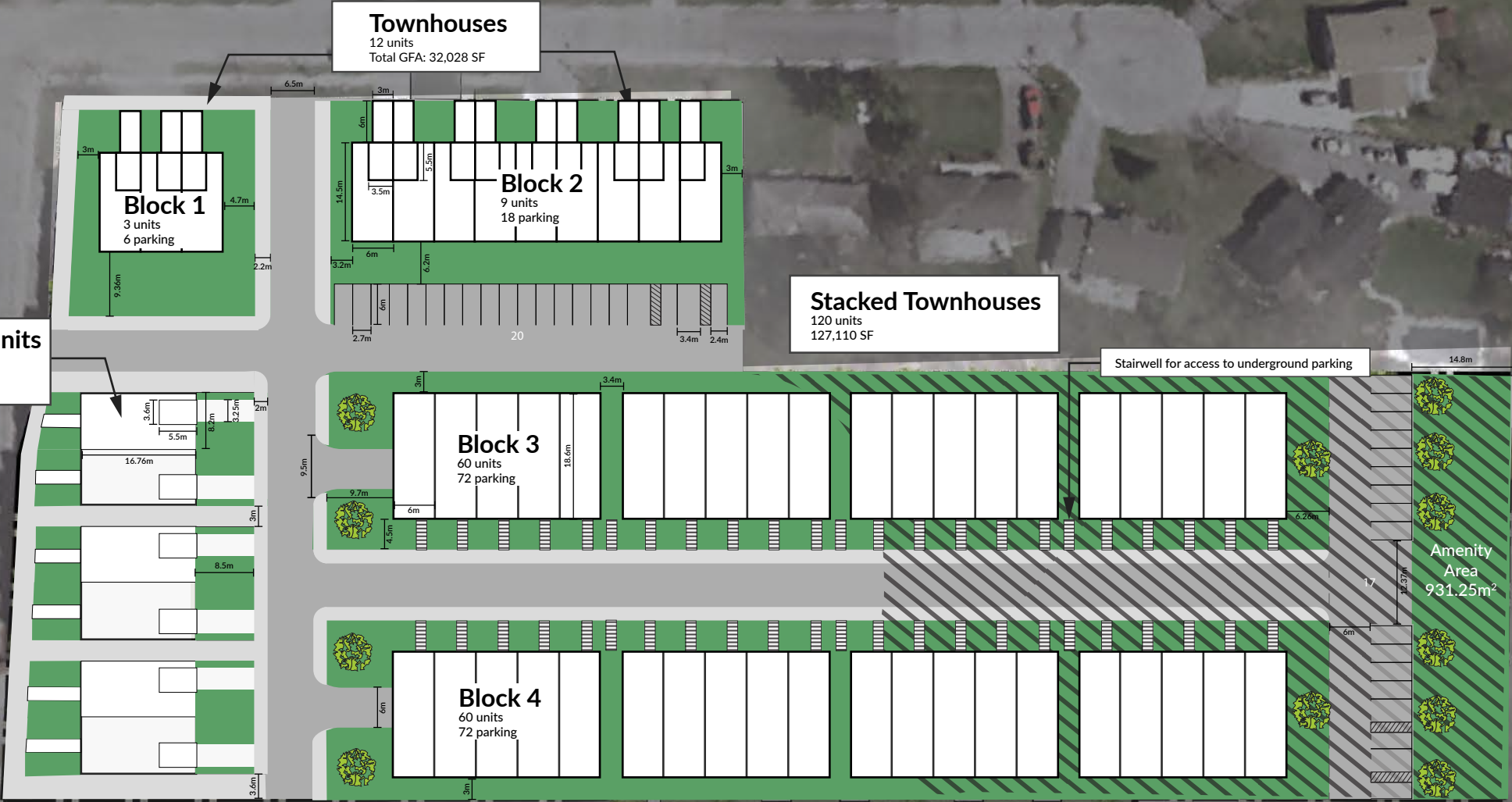
Water Tank Room 004

Storage Room 002A

Storage Room 003

Building Section(s)	Room Name(s)	Room Number(s)	Description	Representative Photograph(s)	
					
				Graffiti on brick in the Storage Room	Four panel door leading to Storage Room
1967	Classroom 21	010	The 1967 basement includes a classroom, storage room, corridor, and stairwell. The 1967 basement classroom includes similar finishings as the first and second floor 1967 additions including a similar flooring, windows, curtains, blackboards, cupboards, and painted concrete block walls. A fire exit is located on the rear wall of the classroom.		
				Classroom 21 (Front)	Classroom 21 (Back)
					
				Emergency exit in Classroom 21	Emergency exit in Classroom 21

Appendix E: Conceptual Proposed Work Drawings



CONCEPT 7

130 College Street, West Lincoln

Total GFA (approximate): 165,273 SF

STACKED TOWNHOUSES ZONING MATRIX			
ZONING PROVISION	REQUIREMENT	PROPOSED	COMPLIANCE
Minimum Lot Area per dwelling unit	160m ²	156.6m ²	No
Minimum Frontage Area	30m	130.66m	Yes
Minimum Front Yard	4.5m	9.7m	Yes
Minimum Exterior Side Yard	3m	3 - 4.5m	Yes
Minimum Rear Yard	6m	6.26m	Yes
Minimum Separation Between Buildings Same Lot	12m between exterior front or rear walls	3.4m	No
Maximum Height	12m	13.5 - 13.8 m	No
Amenity Area	820m ²	931.25m ²	Yes
Parking Requirements	180 spaces	181 spaces	Yes
Barrier-Free Parking Requirements	8 spaces	8 spaces	Yes

LIVE/WORK UNITS ZONING MATRIX			
ZONING PROVISION	REQUIREMENT	PROPOSED	COMPLIANCE
Minimum Lot Area per dwelling unit	200m ²	256m ²	Yes
Minimum Frontage Area	8m/unit	8m/unit	Yes
Minimum Front Yard	4.5m	5m	Yes
Minimum Exterior Side Yard	3m	3m	Yes
Minimum Rear Yard	6m	8.5m	Yes
Minimum Separation Between Buildings Same Lot	3m between exterior side walls	3m	Yes
Maximum Height	12m	10.95m	Yes
Amenity Area	100m ²	931.25m ²	Yes
Parking Requirements	6 spaces	12 spaces	Yes

TOWNHOUSES ZONING MATRIX			
ZONING PROVISION	REQUIREMENT	PROPOSED	COMPLIANCE
Minimum Lot Area per dwelling unit	180m ²	160 - 320m ²	No
Minimum Frontage Area	6m/unit	6m/unit	Yes
Minimum Front Yard	6m/unit	6m/unit	Yes
Minimum Exterior Side Yard	3m	3m	Yes
Minimum Rear Yard	6m	6m	Yes
Minimum Separation Between Buildings Same Lot	N/A	N/A	N/A
Maximum Height	12m	9.8m	Yes
Amenity Area	N/A	931.25m ²	Yes
Parking Requirements	18 spaces	24 spaces	Yes

Appendix F: Assessor Qualifications

ASSESSOR QUALIFICATIONS

Heidy Schopf, MES, CAHP – Built Heritage and Cultural Landscape Team Lead

Ms. Schopf is a Senior Cultural Heritage Specialist at Wood and has worked in the field of Cultural Resource Management since 2007. She is a Professional Member of CAHP. She has worked on a wide variety of projects throughout Ontario, including cultural heritage resources assessments, heritage impact assessments, heritage documentation reports (photographic and 3D/LiDAR), cultural heritage evaluations, strategic conservation plans, HCD studies and plans, heritage feasibility studies, and archaeological assessments. Ms. Schopf has extensive experience applying local, Provincial, and Federal heritage guidelines and regulations to evaluate protected and potential cultural heritage properties. She is skilled at carrying out impact assessments and developing mitigation measures to conserve the heritage attributes of properties where changes are proposed. Ms. Schopf has completed hundreds of cultural heritage projects under a variety of processes, including: Environmental Assessment Act, Planning Act, Ontario Heritage Act, Transit Project Assessment Process, Renewable Energy Approval, and Ontario Energy Board.

Henry Cary, Ph.D., CAHP, RPA – Senior Cultural Heritage Specialist and Staff Archaeologist:

Dr. Henry Cary has over 20 years of public and private-sector experience directing archaeological and cultural heritage projects in urban, rural, Arctic and Sub-Arctic environments in Canada as well as the Republic of South Africa, Italy, and France. His career has included positions as project archaeologist and cultural resource management specialist for Parks Canada's Fort Henry National Historic Site Conservation Program and Western Arctic Field Unit, Heritage Manager for the Town of Lunenburg UNESCO World Heritage Site, and senior-level archaeologist and cultural heritage specialist for CH2M and Golder Associates. He currently holds a Professional Archaeology Licence (P327) issued by the Ontario MHSTCI, is MTO RAQs certified in Archaeology/Heritage and is a member of the Canadian Association of Heritage Professionals (CAHP) and Register of Professional Archaeologists (RPA). His education includes a B.A. in Prehistoric Archaeology and Anthropology from Wilfrid Laurier University, a MA in Historical Archaeology from Memorial University, and a Ph.D. in War Studies from the Royal Military College of Canada. Currently, Henry also holds academic positions as Adjunct Professor of Anthropology at Saint Mary's University and lecturer in Visual & Material Culture at Mount Allison University.

Chelsea Dickinson, B.A. Hons, Cultural Heritage Specialist

Ms. Dickinson holds an Honours B.A. Degree in Near Eastern and Classical Archaeology from Wilfrid Laurier University, and a Post-Graduate Certificate in Geographical Information Systems from Fanshawe College and is currently completing a Master of Planning from the University of Waterloo. She has been working in the field of archaeological consulting since 2015 and holds an Applied Research license (License R1194) in Archaeology from the Ontario Ministry of Heritage, Sport, Tourism and Culture Industries. Ms. Dickinson has conducted all aspects of Stage 1 to 4 archaeological assessments (AAs) throughout Ontario, including environmental assessments (EA) conducted for the development of wind and solar farms, hydro line corridors and municipal roadway improvements. Ms. Dickinson has been the co-author on a multitude of AAs and cultural heritage reports and has experience working on cultural heritage assessment reports, heritage impact assessments, and documentation reports specializing in historical background research spanning across Southern Ontario. Ms. Dickinson has had the privilege of working alongside a multitude of First Nation community members while conducting archaeological and cultural heritage assessments in both Northern and Southern Ontario. Ms. Dickinson has experience using high precision GPS technologies, specifically Top Con Hi SR and FC5000 positioning systems, used to map

in architectural features, diagnostic artifacts, as well as topographical anomalies and site boundaries and has experience using ArcGIS while conducting archaeological assessments.

.

Appendix G: Limitations

Limitations

1. The work performed in the preparation of the Cultural Heritage Impact Assessment (CHIA) and the conclusions presented are subject to the following:
 - (a) The Standard Terms and Conditions which form a part of our Professional Services Contract;
 - (b) The Scope of Services;
 - (c) Time and Budgetary limitations as described in our Contract; and,
 - (d) The Limitations stated herein.
2. No other warranties or representations, either expressed or implied, are made as to the professional services provided under the terms of our Contract, or the conclusions presented.
3. The conclusions presented in the report are based, in part, on visual observations of the Study Area. Our conclusions cannot and are not extended to include those portions of the Study Area which were not reasonably available, in Wood Environment & Infrastructure's opinion, for direct observation.
4. The potential and protected cultural heritage resources encountered at the Study Area were assessed, within the limitations set out above, having due regard for applicable heritage regulations as of the date of the inspection.
5. Services including a background study and fieldwork were performed. Wood Environment & Infrastructure's work, including archival studies and fieldwork, were completed in a professional manner and in accordance with the Ministry of Heritage, Sport, Tourism and Culture Industries' guidelines. It is possible that built heritage resources and cultural heritage landscape elements not visible from the public realm may be within, or adjacent to the Study Area.
6. The utilization of Wood Environment & Infrastructure's services during the implementation of any further cultural heritage work recommended will allow Wood Environment & Infrastructure to observe compliance with the conclusions and recommendations contained the CHRA. Wood Environment & Infrastructure's involvement will also allow for changes to be made as necessary to suit field conditions as they are encountered.
7. This report is for the sole use of the parties to whom it is addressed unless expressly stated otherwise in the report or contract. Any use which any third party makes of the report, in whole or in part, or any reliance thereon, or decisions made based on any information of conclusions in the report, is the sole responsibility of such third party. Wood Environment & Infrastructure accepts no responsibility whatsoever for damages or loss of any nature or kind suffered by any such third party as a result of actions taken or not taken or decisions made in reliance on the report or anything set out therein.
8. This report is not to be given over to any third-party other than a governmental entity, for any purpose whatsoever without the written permission of Wood Environment & Infrastructure, which shall not be unreasonably withheld.