

# East Smithville **Secondary Plan**

Township of West Lincoln

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Prepared For:

**Township of West Lincoln**

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**Schedule A – Community Structure Plan**

# 1.0 INTRODUCTION

## 1.1 Purpose of the Plan

The purpose of the East Smithville Secondary Plan is to provide a planning framework to guide the detailed planning and future development of East Smithville over the next 20 years. The Secondary Plan builds on the policy framework of the Township of West Lincoln Official Plan (“Township Official Plan”) and Provincial and Regional plans and policies in order to provide direction for the orderly development of the East Smithville community. The Secondary Plan establishes the principles for the design and development of the neighbourhood as well as land use patterns and conceptual locations of community infrastructure, such as parks and stormwater management ponds. The Secondary Plan also considers land use compatibility with the nearby industrial park and CP rail line. Development of the Secondary Plan is intended to occur in a manner that is sensitive to the existing community of Smithville. Where applications under the Planning Act are made, the Township may require studies to demonstrate land use compatibility, among others as described in the Township Official plan (Policy 18.16).

## 1.2 Integration with the Township of West Lincoln Official Plan

The Township of West Lincoln Official Plan states that all Greenfield Areas will require a Secondary Plan prior to development. The identified area of East Smithville shall be developed as one Secondary Plan.

The content of Sections 2-10 of this document are considered to be the formal Secondary Plan and will form part of an Official Plan Amendment to the Township Official Plan. Accordingly, in the future, any alterations to the policies in Sections 7-9 shall require an Official Plan Amendment (unless otherwise stated in this Secondary Plan). The contents of Section 1 is provided for explanatory purposes only and does not form part of the text of the Official Plan Amendment to implement the Secondary Plan policies. When an Official Plan Amendment is prepared at a later date, the OPA will be formatted in a manner which is consistent with the policy framework established in the current Official Plan.

## 1.3 Authority

The Secondary Plan has been prepared under the *Planning Act* and aligns with the policies of the Township of West Lincoln Official Plan, the Region of Niagara Regional Official Plan, the 2020 Provincial Policy Statement and the A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020).

# 2.0 PURPOSE

The Secondary Plan for East Smithville has been prepared to:

1. Co-ordinate and guide development in the East Smithville Neighbourhood in a manner that integrates new Greenfield development with the existing urban neighbourhood and adjacent rural lands and employment/industrial lands, while respecting and protecting the surrounding environmental features;
2. Determine the appropriate density and layout of the neighbourhood;
3. Determine the appropriate land uses of the neighbourhood; and,
4. Establish parameters related to the review and approval of development applications within the Secondary Plan area.

# 3.0 VISION AND GOALS

## 3.1 Vision

The East Smithville Secondary Plan area totals approximately 32 hectares in size and is located on the eastern edge of Smithville. The Secondary Plan lands are surrounded by existing commercial uses to the west, the Canadian Pacific Rail Line (“CP Rail”) and industrial uses to the north, primarily undeveloped agricultural land to the east, and residential/agricultural land uses to the south.

It is the intent of the Township of West Lincoln that these lands be developed with a mix of uses and densities. The East Smithville Secondary Plan area is expected to function as a future prominent gateway into the urban area of Smithville, with the potential to accommodate up to 500 new residential units.

Accordingly, it is the vision of the secondary plan that the development of East Smithville shall reflect the small town character of Smithville and provide an attractive, high-quality, safe, sustainable, interconnected, and pedestrian-friendly community for future residents of all ages and abilities to enjoy. Ultimately, East Smithville will become an urban neighbourhood with a strong pedestrian focus enhanced by public green space and trail linkages and a commercial/mixed use function to support the needs of the neighbourhood residents and the Smithville community.

## 3.2 Goals

The goals of the Secondary Plan are:

- To develop a land use and development concept that will implement the vision;
- To determine the appropriate population and housing yield/ mix for the development area;
- To provide land use and urban design policies to guide the development of the community;
- To ensure compatibility is achieved for land use arrangement of the plan with adjacent and area land uses;
- To encourage the development of a range and mix of housing types, including the development of accessible and affordable housing;
- To encourage and promote best practices in environmental design and energy conservation;
- Provide a framework for the development of a neighbourhood with a compact urban form that is pedestrian-oriented and incorporates a park, open spaces and trails and provides linkages to the wider trail network;
- To promote active transportation by providing a safe neighbourhood with a high level of connectivity for pedestrians and cyclists;
- To ensure the orderly and logical development of the community by providing a development phasing strategy; and,
- To ensure the appropriate development of the community by providing direction and guidance to the review and approval of development applications.

# 4.0 COMMUNITY STRUCTURE AND DESIGN

## 4.1 Community Structure

The Community Structure Plan is illustrated in Schedule A and sets out the overall urban structure for the East Smithville Secondary Plan area. The Community Structure is based on the design principles identified in Section 4.2.1 and provides a neighbourhood structure organized around a central community entrance; a local road pattern which connects to the existing collector road network in the surrounding area; an integrated open space network with potential trail connections and natural features; and, the community place types considered for the Smithville Master Community Plan.

The majority of the lands within the Secondary Plan area are identified as Designated Greenfield Area in the Regional Official Plan and are currently Designated Greenfield Area in the Township Official Plan. The East Smithville lands will be developed as a primarily low and medium density residential neighbourhood, with the opportunity to develop a limited amount of local mixed uses at key locations. Greenfield areas are required to meet an overall density of 50 persons and jobs per hectare. The Niagara Regional Official Plan requires that residential lands in Designated Greenfield Areas will be planned and designed to achieve a minimum density target of 50 people and jobs combined per hectare. It is recognized that density targets are to be achieved across the Designated Greenfield Area and the Region.

The lands with the Secondary Plan that are located south of St. Catharines Street, are designated as Built-up Area in the Regional Official Plan. A significant proportion of the Region's growth will be directed to Built-up Areas through intensification. At a minimum, 40 percent of all residential development occurring annually within the Region will occur within the Built-up Area. The Region has prescribed that 15 percent of annual residential development in West Lincoln must be through intensification within the Built-up Area.

To achieve density targets of the Designated Greenfield Area and create complete communities that provide for housing needs and choice within the Township, the Township's Official Plan emphasizes the development of Greenfield areas to create more compact, multi-modal, higher density mixed use communities with a range of housing types to develop in an orderly and logical progression and which utilizes land, infrastructure and services efficiently. Based on the land area and the density required to achieve the greenfield density target, the development of the lands is expected to yield between 450-500 residential units which would support a population of approximately 1,000 to 1,200 people within the Designated Greenfield Area of the Secondary Plan.

### 4.1.1 **Land Use Designations**

Lands within the Secondary Plan Area are designated as one, or more, of the following land use categories as illustrated on Schedule A:

- i) Low Density Residential,
- ii) Medium Density Residential,
- iii) Mixed Use,
- iv) Business Park,
- v) Park,
- vi) Stormwater Management; and,
- vii) Natural Features.

The land use designations for the Secondary Plan are intended to complement the broader land use designations provided in the Township of West Lincoln Official Plan. In most cases, the land use policies and permissions described in the Secondary Plan are more detailed than those provided for within the Official Plan. Where there are inconsistencies between a particular policy in the Official Plan and the Secondary Plan, the policies of the Secondary Plan shall prevail.

The location and size of stormwater management facilities and the extent of natural features is approximate. It is the intent that a detailed stormwater management study and an environmental impact study will be required to be submitted, for consideration by the Township and the Region, as part of a complete application for development.

## 4.2 **Community Design**

The Township Official Plan identifies that form and density of growth within the Township's urban areas should be guided by appropriate design standards intended to achieve a complete community that is livable, vibrant, well-connected, and prosperous. In order to achieve the desired vision, the Township has prepared and adopted Urban Design Guidelines for Smithville which provide enhanced guidance for the physical design of public and private development in Smithville to create an attractive, high-quality, safe, accessible, sustainable, interconnected, pedestrian-friendly and transit-ready community.

The Secondary Plan is based on neighbourhood urban design principles, aimed at establishing a complete community. These principles have used the design guidelines identified in the Township of West Lincoln Smithville Urban Design Manual as their basis.

The Secondary Plan design principles are founded on six key themes aimed at establishing a 'complete community':

- Safety;
- Integration and phasing;
- Housing mix and density;
- Open space network; and,
- Identity and urban design.



### 4.2.1 *Design Principles*

Development in the East Smithville Secondary Plan area shall be consistent with the following principles:

- Provide a diverse mix of land uses and unit types to support a vibrant neighbourhood;
- Provide a neighbourhood design concept that considers safety and mitigates railway-oriented impacts and compatibility with nearby industrial land uses;
- Develop a neighbourhood at the pedestrian scale to promote social interaction, active streetscapes and an overall walkable neighbourhood;
- Establish an open space network of integrated and connected public spaces including a neighbourhood park, trail connections, and connections to stormwater management facilities and natural features;
- Develop a well-connected network and hierarchy of streets, pedestrian paths and trail connections that enhance connectivity and provide for safe modes of active transportation (i.e. walking and cycling);
- Provide opportunities for recreational spaces that will serve all age groups and physical abilities, with an integrated active transportation system;
- Promote compatibility of scale and form between new and existing adjacent development;
- Create focal points, corridors and activity nodes within the community to enhance way-finding and establish an identifiable community structure;
- Promote sustainable design throughout the built environment to promote efficient use of energy, land, and infrastructure through conservation and energy-saving practices and systems; and,
- Establish distinct gateways to the East Smithville neighbourhood and the Smithville area to create a cohesive community identity.

### 4.2.2 *Urban Design Policies*

1. Any proposed development shall address the Urban Design Policies of this Plan and, where appropriate, Policies within the Township Official Plan and the applicable built form guidelines established in the Township's Smithville Urban Design Manual. The lands within the East Smithville Secondary Plan are considered to be within the Neighbourhood Precinct as defined in the Smithville Urban Design Manual.
2. Gateway Nodes are defined in the Smithville Urban Design Manual as nodes located at the primary entrances to Smithville. Development within lands identified as a Gateway Node shall adhere to the Gateway Node design guidelines contained within Section 7.2 of the Urban Design Manual.
3. An urban design brief, or design guidelines, which demonstrate how any proposed future plan of subdivision meets the direction of the Township's Smithville Urban Design Manual and the Urban Design principles and policies of this Secondary Plan, will be required in support of any such application. An Urban Design Brief may also be required for all mixed-use development and any development on lands within the Business Park designation.
4. Development within the Secondary Plan area, including but not limited to areas of public use, shall be designed in accordance with the Accessibility for Ontarians with Disabilities

Act, and other applicable Provincial legislation and the Region's Accessibility Design Standards.

5. Streetscapes throughout the East Smithville Community are important components of the public realm. Streetscapes will be designed to enhance community character and sense of place.
6. Residential streetscapes shall be designed to ensure the provision of sufficient on-street parking through creative design solutions such as varying housing types and lotting patterns.
7. Development throughout the East Smithville community shall be encouraged to create a sense of identity and place through the use of various design attributes, including unique building typologies, architectural design treatments, building materials, decorative lighting, decorative street signs, boulevard treatments, gateway features and landscaping elements.
8. Throughout the neighbourhood, buildings shall be designed to form a well-defined and continuous street edge with subtle variations in height and setbacks and high quality architectural features.
9. Human scale buildings will be required and be achieved through siting and orientation of a building on a lot and the distribution of building heights and massing. Consideration of building materials and architectural articulation must have regard for maintaining a human scaled form of development. Building heights shall provide appropriate transition between the higher intensity areas to the surrounding lower intensity areas.
10. Decorative lighting, street signage and entrance features are encouraged.
11. Buildings on corner lots should articulate facades on both street frontages.
12. Buildings at terminating vistas will be encouraged to be designed as landmarks, with architectural innovation and quality urban design that reflects the community character. Incorporation of public art and enhanced landscaping will be encouraged at these areas.
13. Dwellings located on lots in visually prominent locations are priority lot dwellings. Priority lots include corner lots, at 'T'- intersections, or directly adjacent to open spaces, parks, trails natural areas or agricultural lands. Priority lot dwellings shall be identified as such on plans of subdivision and the treatment of priority lots shall be described in the design brief to be submitted in support of a development application.
14. Stormwater management systems shall be integrated into the design of buildings and the landscape where appropriate.
15. Business Park lands are:
  - a. expected to have a high degree of urban and architectural design;
  - b. expected to have buildings facing the street;
  - c. expected to have parking areas located at the side or rear of buildings. If parking is located in front of the building, there shall be landscaped buffers between the parking area and the street; and,
  - d. expected to have site and building design controlled through the site plan approval process.

# 5.0 LAND USE POLICIES

## 5.1 General Policies

1. The East Smithville Secondary Plan is planned to achieve a minimum overall density of 50 people and jobs per hectare.
2. Residential lands will be designated as primarily low and medium density residential, with high density mixed use development along St. Catharines Street.
3. Development of future residential lands shall ensure compatibility with the existing Smithville Industrial Park and the adjacent CP rail line.
4. To be consistent with the Township Official Plan and to achieve the density target, the East Smithville Neighbourhood will be planned, designed and zoned to achieve a variety of housing types, styles and lot sizes.

## 5.2 Low Density Residential

1. The planned function of the Low Density Residential designation is to provide opportunity for the development of low-rise residential land uses at lower densities. While the predominant land use within the Low Density Residential designation will be residential, it is intended that complementary non-residential land uses may be permitted to locate within this designation provided they do not impact the ability of the lands to achieve the vision and policies of this Plan and the required overall density target.
2. Lands designated Low Density Residential may be zoned to permit the following residential uses:
  - a. Single detached dwellings;
  - b. Semi-detached dwellings;
  - c. Linked semi-detached dwellings; and,
  - d. Duplex dwellings.
3. In addition to permitted residential uses, lands designated Low Density Residential shall permit the following uses, subject to applicable policies of the Township of West Lincoln Official Plan and the Zoning By-law:
  - a. Home Occupations;
  - b. Public and Private Utilities;
  - c. Bed and Breakfast Establishments;
  - d. Day Care Facilities;
  - e. Places of Worship;
  - f. Educational Facilities;
  - g. Accessory Apartments; and,
  - h. Garden Suites.
4. The maximum density within the Low Density Residential designation is 30 units per hectare. To ensure that the Designated Greenfield Area density target is achieved, lands

within the Low Density Residential designation shall aim to achieve a minimum density of 15 units per hectare.

5. The maximum building height in the Low Density Residential land use designation shall be 2.5 storeys.

### 5.3 Medium Density Residential

1. The planned function of the Medium Density Residential designation is to accommodate a range of medium density housing types including townhouse dwellings and stacked townhouse dwellings. The aim of this designation is to encourage medium density development and provide for the appropriate transition from lower density uses and non-residential uses. While the predominant land use within the Medium Density Residential land use designation will be residential, it is intended that complementary non-residential land uses may be permitted to locate within this designation provided they do not impact the ability of the lands to achieve the vision and policies of this Plan and the required overall density target.
2. The Township will encourage and support the mixing and integrating of innovative and different forms of housing to achieve and maintain a higher density built form.
3. Lands designated Medium Density Residential may be zoned to permit the following residential uses:
  - a. Street townhouses;
  - b. Cluster townhouses;
  - c. Stacked townhouses; and
  - d. Back to back townhouses.
4. In addition to permitted residential uses, lands designated Medium Density Residential shall permit the following uses, subject to applicable policies of the Township of West Lincoln Official Plan and an amendment to the Zoning By-law, where applicable:
  - e. Day Care Facilities;
  - f. Places of Worship; and
  - g. Educational Facilities.
5. Medium Density Residential uses shall have a minimum density of 30 units per hectare and a maximum density of 50 units per hectare.
6. The maximum building height in the Medium Density Residential designation shall be 4 storeys.
7. Medium Density Residential development shall be subject to Site Plan Control and shall be designed and appropriately located in compliance with the direction of the Township's Smithville Urban Design Manual.

#### 5.3.1 Special Policy Area 1

1. The lands designated as Special Policy Area 1 on Schedule A are lands that are within the minimum separation distance of adjacent industrial land uses. The SPA1 lands are planned to be developed as Medium Density Residential and will require a land use compatibility study prior to residential use. If no land use compatibility study is completed, the lands may be developed in accordance with all permitted land uses in the Business Park Designation.

## 5.4 Mixed Use

1. The Mixed Use designation is intended to be flexible and responsive to land use pattern changes and demands, and permit a broad range of residential, commercial and retail uses which are compatible with the surrounding area and meet the day to day needs of the neighbourhood. It is the intent that multiple residential buildings, with commercial uses at the ground floor, are the predominant use of land in the mixed use designation. However, the Township will consider applications that provide a mixture of uses on a site provided this type of built form does not impact the ability of the East Smithville Neighbourhood to achieve the required density target.
2. Lands designated Mixed Use should be zoned to permit the following uses:
  - a. Office;
  - b. Personal Services;
  - c. Clinic;
  - d. Live-work units;
  - e. Apartment buildings;
  - f. ,
  - g. Communal housing.
3. Lands designated Mixed Use may be zoned to permit the following uses on the ground floor of a building that contains residential uses:
  - a. Restaurants;
  - b. Small scale local serving retail uses; and
  - c. Small scale local serving commercial uses.

The maximum unit size of such uses shall be 1,000 m<sup>2</sup>.

4. Lands designated Mixed Use should be zoned to permit mixed use buildings with ground floor commercial uses and/or a mixed use site with residential uses located to the rear of commercial uses.
5. The Mixed Use designation shall have a minimum density of 90 units per hectare.
6. The maximum building height in the Mixed Use designation shall be 6 storeys.
7. The Township may consider a height beyond 6 storeys subject to the submission of a design brief which demonstrates the proposed increase in height will maintain an appropriate public realm and pedestrian streetscape.
8. Development within the Mixed Use designation shall be subject to Site Plan Control and an Urban Design Brief with consideration of the Township's Smithville Urban Design Manual.
9. Entrances and driveways are prohibited along the frontage of St. Catharines Street.

## 5.5 Business Park

1. The planned function of the Business Park designation is to accommodate service commercial, office and other low impact employment uses. It is the intent of the Business Park area to act as a connecting centre for the neighbourhood and create opportunities for residents to obtain commercial services and employment opportunities required to meet their day to day needs, within a reasonable walking and cycling distance.

2. Commercial uses should be small scale in nature and limited to a maximum floor area of 2,000 m<sup>2</sup> per unit.
3. Lands designated Business Park may be zoned to permit the following uses:
  - a. Service commercial;
  - b. Small scale employment uses that are compatible with adjacent residential uses;
  - c. Personal service;
  - d. Restaurants;
  - e. Commercial recreational facilities;
  - f. Office;
  - g. Class 1 Employment;
  - h. Clinic; and,
  - i. Local Convenience/Retail.
4. The following uses are prohibited within the Business Park designation
  - a. Industrial uses;
  - b. Drive-through facilities of any kind;
  - c. Automotive-oriented uses of any kind (sales, service, gas stations); and,
  - d. Adult entertainment establishments.
5. The Zoning By-law may further refine the list of permitted and prohibited uses.
6. Buildings shall have a minimum building height of 2 storeys and a maximum building height of 5 storeys.
7. The Township may consider a maximum height beyond 5 storeys in the Business Park designation subject to the submission of a design brief which demonstrates the proposed increase in height will maintain an appropriate public realm and pedestrian streetscape and compatibility with adjacent lands.
8. Commercial facilities shall be designed to provide a safe environment for pedestrians and encourage walking.
9. Buildings shall be located such that they help to frame the street, and vehicle parking is to be located to minimize conflicts with pedestrians.
10. Surface parking lots are to be adequately screened.
11. Lighting shall be oriented away from residential areas and have minimal impact on existing and new residential uses.
12. Development within the Business Park designation shall be subject to Site Plan Control and will require an Urban Design Brief with consideration of the Township's Smithville Urban Design Manual. The Commercial Guidelines of the Urban Design Manual apply to development within the Business Park designation.
13. A stationary noise assessment should be required at the site plan approval stage to ensure compatibility of non-residential uses with adjacent residential and other sensitive uses.

## 5.6 Parks and Natural Features

### 5.6.1 Parks

1. The planned function of the Parks land use designation is to provide East Smithville and the surrounding neighbourhood with convenient access to a broad range of uses, including municipal parks and other green spaces.

2. A central park is a key component of the Secondary Plan. It is the intent that the park designation be developed consistent with the Neighbourhood Parks and Playgrounds and Linear Parks and Greenspace Corridors typologies identified in Section 9 of the Township Official Plan.
3. The amount and type of parkland within the community shall be consistent with the policies contained within Section 9 of the Township Official Plan and will be determined through the draft plan of subdivision process.
4. Park spaces shall have trail connections to promote connectivity via on-street or off-street trails connecting blocks, open spaces and other points of interest.
5. Park spaces shall be designed to ensure public safety with buffers to nearby Business Park lands.
6. Development of a trail system along a rail line is encouraged and will act as a buffer to nearby business park and residential uses.
7. Parks and trails shall be strategically located and linked to the broader trail system, as identified in the Township's Trails and Corridors Master Plan and the identified potential trail connections on Schedule A.
8. All trails shall be designed consistent with the Township of West Lincoln Trails and Corridors Master Plan.
9. Parks shall be easily accessible to residents and will be located within close proximity to all residential areas.
10. The Township encourages the integration of stormwater management facilities as part of the parks and open space system. Wherever feasible and appropriate, stormwater management facilities shall be designed to provide passive recreation opportunities. However, stormwater management facilities shall not be accepted as parkland under the parkland dedication provisions of the Township Official Plan and the *Planning Act*.
11. The planting of trees within parkland blocks is encouraged to provide shade and to enhance the urban forest.
12. In addition to the provision of open space and parks, private amenity recreation space should also be provided through future development applications; Minor adjustments may be made to the size and location of parks and open space through the development approval process, without further amendment to the Secondary Plan, as long as the general intent of the Secondary Plan is respected.

### 5.6.2 *Natural Features*

1. The location and extent of the natural features, on Schedule A, are approximate. The boundary of the natural features and their buffers shall be delineated more precisely through an Environmental Impact Study, or other appropriate study deemed acceptable by the Township of West Lincoln, Regional Municipality of Niagara and the Niagara Peninsula Conservation Authority, and be required to be submitted as part of a future development application for the lands.
2. There is potential for Karst on lands within the Secondary Plan that are located south of St. Catharines Street. Applications for development on lands south of St Catharines Street shall confirm presence of karst topography and determine appropriate development limits in response, including appropriate setbacks and appropriate drainage and stormwater management.

# 6.0 SUSTAINABILITY

1. Development of the East Smithville Community is encouraged to implement efficient and effective methods of providing energy. This could be achieved by incorporating renewable energy resources, neighbourhood and building design techniques or other innovative initiatives.
2. The Township will promote development that strives to conserve energy and achieve the sustainability objectives of the Official Plan by encouraging, supporting and, where appropriate, requiring:
  - a. Compact development and efficient built form;
  - b. Transit supportive development and the greater use of active modes of transportation;
  - c. Environmentally responsible design and construction practices;
  - d. The use of green roofs;
  - e. The integration, protection and enhancement of natural features and landscapes into building and site design; and,
  - f. The reduction of resource consumption associated with development.
3. The incorporation of renewable energy sources, high-efficiency electrical and mechanical systems, water recycling and other “green” building features is encouraged.
4. The Township will encourage, at the development application stage, the reduction of energy and residential combustion emissions through a range of approaches including the development of R-2000 homes and similar commercial construction standards such as LEED or other similar published standards, the incorporation of Energy Star appliances, the physical layout of the plan having regard to energy conservation, and buildings powered by renewable energy sources.



# 7.0 SERVICING & TRANSPORTATION STRATEGY

The purpose of the Secondary Plan is to ensure the orderly and logical development of the East Smithville lands. All development shall consider the following policies.

## 7.1 Stormwater Management Strategy

This Plan provides a general stormwater management strategy as follows:

- a. The lands located on the western half of the Secondary Plan area will drain west to a stormwater management facility located along the western portion of the Secondary Plan area and outlet to the western tributary of Twenty Mile Creek.
- b. The lands located on the eastern half of the Secondary Plan area will drain east to a stormwater management facility located along the eastern portion of the Secondary Plan area and outlet to the eastern tributary of Twenty Mile Creek.
- c. The location and size of stormwater facilities, as shown on Schedule A, is based on the general stormwater strategy and is, therefore, approximate. A detailed stormwater management study will be required to be submitted, for consideration by the Township of West Lincoln, the Niagara Peninsula Conservation Authority and the Region of Niagara as part of a complete application for development.
- d. General stormwater management criteria required by the regulating agencies as follows:
  - i. For quantity control of all new developments, post-development storm water flows are to be maintained to pre-development levels;
  - ii. For quality control, all regulatory concerns with respect to the quality of the storm water discharge must be fully and adequately addressed by the Consulting Engineer; and,
  - iii. For water balance, post-development infiltration rates for the 2-year through to the 100-year storm should match pre-development level.
- e. Low Impact Development for stormwater management is encouraged where feasible.

## 7.2 Servicing Strategy

This Plan provides a general water and sanitary servicing strategy as follows:

- a. Full development of the lands will require the installation of water and sanitary sewer infrastructure. The Smithville Master Community Plan, which includes the Master Servicing Plan, will identify any system upgrades that may be required to accommodate the development of the lands within the Secondary Plan.

- b. The lands within the Secondary Plan will be serviced through the extension of sewer and water services along St. Catharines Street from Industrial Road.
- c. The lands designated Business Park, located adjacent to Industrial Road, and may be serviced through connection to the existing sanitary sewer and water services on Industrial Road, subject to the completion of functional servicing reports and the satisfaction of Township and Niagara Region, as part of an application submission for development.
- d. If it is determined that there is not sufficient space within the existing St. Catharines Street right-of way to accommodate all necessary utilities, for the Township and/or Region may require a servicing easement along St. Catharines Street.

## 7.3 Transportation

The transportation system in Smithville is a key element in shaping the form and character of growth in the community. In order for Smithville to grow in an efficient manner, it is essential that land use and transportation policies be mutually supportive. The transportation network consists of an existing road network used by automobiles, trucks and pedestrians, as well as a rail line used for the transportation of goods. It is the objective that the proposed transportation plan for the secondary plan provides safe, efficient and integrated systems for the movement of people and goods. This Plan provides a general transportation strategy as follows:

1. Lands in the Secondary Plan area shall be serviced by a collector road with a connection to the roundabout at St. Catharines Street and a connection to Industrial Road. The alignment of the collector road, as shown in Schedule A, is conceptual and may be modified without amendment to this plan provided any change is consistent with the intent of the Secondary Plan.
2. St. Catharines Street is considered to be a Transitioning Road in the Niagara Region Complete Streets Design Guidelines. Modifications to the St. Catharines Street right of way and any development adjacent to the right of way shall be consistent with the applicable design guidelines.
3. Driveways and local street connections shall not be permitted on the north side of St. Catharines Street.
4. The Secondary Plan recognizes that there are existing driveway connections located on the south side of St. Catharines Street. It is a long range goal of the Secondary Plan to ensure that the number of driveways on the south side of St. Catharines Street will be reduced over time and, as such, additional driveways shall not be permitted on the south side of St. Catharines Street.

### 7.3.1 Internal Local Streets

1. All internal local streets shall require continuous sidewalks on either side of internal local streets.
2. All internal local streets shall be designed in accordance with the Township's Smithville Urban Design Manual.
3. The design of internal local streets shall also consider traffic calming measures to discourage any cut-through traffic from St. Catharines Street, Townline Road, or Industrial Park Road.

### **7.3.2 Trails and Cycling**

1. A conceptual trail network is shown on Schedule A. Development of the lands within the Secondary Plan area shall provide for an integrated network of pedestrian and cycling trails that connect to the wider Smithville Trail network.
2. All trails shall be developed in accordance with the Smithville Urban Design Manual and the Smithville Trails and Corridors Master Plan.
3. Connections to St. Catherines Street On-road cycling corridor is encouraged to provide alternative transportation to Downtown Smithville and beyond.
4. Trails, cycling routes and pedestrian sidewalks shall be coordinated and developed cohesively.

### **7.3.3 Transit**

1. Future Smithville-Grimsby transit service is planned to connect central Smithville to the Grimsby GO station. Development within the East Smithville Secondary Plan should consider this future transit service and provide connections and opportunities for all forms of transportation, including active transportation and potential future local transit service, to facilitate connection to the future Smithville GO transit.

# 8.0 DEVELOPMENT PHASING

The purpose of the Secondary Plan is to ensure the orderly and logical development of the East Smithville area. Draft Plans of Subdivision shall consider the following:

1. Full development of the lands will require the installation of water and sanitary sewer infrastructure.
2. Plans and functional servicing reports prepared in support of plans of subdivision are to identify staging and the rationale in support of the proposed staging.
3. It is the goal of the Secondary Plan to have all the lands, north of St. Catharines Street, developed at one time or incrementally from west to east. The Secondary Plan would permit alternate phasing whereby lands on the east side of the Secondary Plan area proceed as the first stage, subject to:
  - a. Any road connection to St. Catharines Street being provided to the satisfaction of the Township of West Lincoln and the Region of Niagara; and,
  - b. The extension of services being consistent with the servicing strategy identified in Section 7.0 and approval being granted to the satisfaction of the Township and the Region of Niagara.
4. Lands on the south side of St. Catharines Street may redevelop once municipal services have been extended.
5. In circumstances where development is proposed on adjacent parcels that have different land owners, a cost sharing agreement may be required to address servicing and infrastructure costs related to the future development.

# 9.0 LAND USE COMPATIBILITY

## 9.1 Rail

In order to ensure compatibility between the residential uses in the Secondary Plan Area and the rail line to the north of the Secondary Plan Area, the following shall apply:

1. Development located adjacent to a rail line shall comply with CP Rail Principle Main Line requirements including the Guidelines for New Development in Proximity to Railway Operations document.
2. In order to ensure compatibility between the CP rail line and adjacent land uses, the following measures shall be implemented through the draft plan approval process and/or the site plan approval process:
  - a. A 5.5 metre high noise wall or berm shall be constructed between the rail right-of-way and the Business Park, Medium Density and Low Density residential development. A reduction to the noise wall may be permitted if a detailed noise study is completed;
  - b. Business Park and Medium Density Residential development will require central air conditioning, brick construction and upgraded glazing;
  - c. Development of sensitive land uses within 30 metres of the rail right of way is prohibited.
3. Warning clauses regarding noise and vibration are to be included in the agreement of purchase and sale for the Business Park, Medium Density and Low Density designations that are within the rail line setback.

## 9.2 Smithville Industrial Park

In order to ensure compatibility between the residential uses in the Secondary Plan Area and the industrial uses to the north of the Secondary Plan Area, the following shall apply:

1. Proponents of new sensitive land uses within 300 metres of lands within the Smithville Employment Area shall be required to undertake a land use compatibility study, or other required study, to identify potential adverse impacts including but not limited to noise, vibration, odours, dust or other emissions, and to determine appropriate mitigation measures. The proponent/landowner shall be responsible for addressing and implementing any necessary mitigation measures required by the approved studies to the satisfaction of the Township and the Region.

### 9.3 Open Space Buffer

1. There is a 5 metre wide open space buffer along the rail line at the northern edge of the Secondary Plan Area as shown on Schedule A. The purpose of the open space buffer is to provide separation between the planned land uses and the adjacent CP rail line. Note that this buffer is within the 30 metre rail line setback. Any required noise walls or berms will be located in the open space buffer, as well as accommodate a multi-use trail which will connect the neighbourhood to the existing Smithville trail network.
2. The provision of the buffer, noise attenuation measures, and trail network will be determined and secured through the draft plan approval process.

# 10.0 IMPLEMENTATION

The purpose of the Secondary Plan is to guide the detailed planning and development of the East Smithville Lands over the next 20 years. The approval of plans of subdivision, and other development applications, that are consistent with the Secondary Plan will be the primary implementation mechanism.

## 10.1 **Non-Conforming Land Uses**

1. Any land use existing on the date of approval of this plan that does not conform to the land use designations as shown on Schedule A of this plan, or the policies related thereto, should as a general rule cease to exist in the long term.
2. Any land use that does not conform to the provisions of the Zoning By-law should, as a general rule, cease to exist in the long term.

## 10.2 **Amendments to the Plan**

1. Applications for development which do not align with the Policies or land use schedule of this Plan shall require an Official Plan Amendment. Amendments to the Plan shall be subject to the policies of the Official Plan and shall require a planning justification report, along with any other supporting studies identified through the pre-consultation process.
2. The Township will update its zoning By-law to ensure that the land uses and design policies for this Secondary Plan are reflected in the Township's Zoning By-law.
3. Applications for development within the Secondary Plan Area shall be subject to the policies of this Plan and the Official Plan (where applicable). Amendments to the zoning By-law shall be subject to the policies of this Plan and the Official Plan and shall require a planning justification report, along with any other supporting studies identified through the pre-consultation process.

## 10.3 **Future Development Applications**

1. The review and approval of future development applications will be based on the Secondary Plan. Applications will be reviewed for conformity and consistency with the Secondary Plan, and other guiding documents.
2. Before submitting a development application, applicants must attend a pre-consultation meeting, in accordance with the policies of Section 18.16 of the Official Plan.
3. As part of future development applications, further detailed studies may be required in support of any application. These studies may include:
  - a. Planning justification report;
  - b. Conceptual Site Plan;
  - c. Land Use/ Market Needs Report;
  - d. Detailed stormwater management study;
  - e. Archaeological Assessment;

- f. Heritage Impact Assessment;
- g. Environmental Impact Study;
- h. Transportation Impact Study;
- i. Noise Study;
- j. Vibration Study;
- k. Detailed Servicing Design Studies;
- l. Detailed Road Design Studies;
- m. Grading Plans;
- n. Urban Design Briefs;
- o. Landscape Plans;
- p. Tree Preservation Plan;
- q. Geotechnical Report;
- r. Functional Servicing Report;
- s. Environmental Assessment;
- t. Hydrogeological Study; and,
- u. Any other study as deemed necessary by the Township of West Lincoln, Regional Municipality of Niagara, the Niagara Peninsula Conservation Authority or any other agency that may have an interest in the application as determined by the Township.

## 10.4 **Monitoring**

1. The Township will prepare a monitoring program to track the implementation of the Secondary Plan and report on the progress of its implementation. The monitoring program should identify development statistics for residential development to ensure the density target can be achieved.

## 10.5 **Updating the Plan**

1. The Township will comprehensively review the policies of this Secondary Plan at the 5 year review of the Township's Official Plan. Depending on the outcomes of the review, the Township may decide to update the Plan.

## 10.6 **Interpretation**

1. In the event of a conflict between the Official Plan and this Secondary Plan, the policies of the Secondary Plan shall prevail.
2. Where the general intent of this Secondary Plan is maintained to the satisfaction of the Municipality, minor adjustments will not require an amendment to this Secondary Plan.



# Schedule **A**

## **Community Structure**









# Community Structure Plan

East Smithville  
Secondary Planning Area

## LEGEND:

-  Smithville Urban Boundary
-  East Smithville Planning Area
-  Parcel
-  Railway
-  Railway Setback
-  Watercourse
-  Floodplain
-  5m Open Space Buffer
-  Potential Trail Connection
-  Gateway
-  Special Policy Area 1

## Proposed Land Use

-  Low Density Residential
-  Medium Density Residential
-  Business Park
-  Mixed Use
-  Park
-  Natural Heritage System
-  SWM Pond
-  Proposed Road

Date: January 21, 2022

File: 08234X

