

COMMITTEE OF ADJUSTMENT

NOTICE OF PUBLIC HEARING FOR THE COMMITTEE OF ADJUSTMENT (MINOR VARIANCE APPLICATION)

Get involved with your input. The Township of West Lincoln Committee of Adjustment will hold a public hearing in accordance with the Planning Act, Section 53(5)(a) at an accessible facility where the matter below will be considered. The meeting will take place:

DATE: Wednesday, July 27th, 2022
TIME: 7:00 p.m.
LOCATION: ZOOM MEETING (see below for further information)

About the Application for Minor Variance (Location Map & Survey Sketch on back):

A17/2022WL – Jason and Jody Beamer

Property Address: 1116 Boyle Road

A minor variance application has been applied for to permit a proposed accessory building to be built 32.4 metres further than permitted away from the main building on the subject property with a total distance of 82.4 metres whereas Table 1-1 of the Townships Zoning Bylaw 2017-70, as amended, identifies that the maximum distance that an accessory building can be built from the main building is 50 metres. This application is also requesting a total lot coverage of 2.9% whereas Table 1-1 of the Townships Zoning By-Law states that 2.5% is the permitted maximum.

****HOW TO PROVIDE COMMENTS – PLEASE READ****

Due to COVID-19, the Township will be hosting public meetings via ZOOM, an online video-conferencing system. Please submit your written comments by **Friday, July 22nd, 2022** to have them included in Staff's report for the application. Please submit your comments electronically to Madyson Etzl metzl@westlincoln.ca with the file number for the application or via the Township's dropbox in the back parking lot.

If you submit comments after this date, they may not be included in Staff's report. Please ensure all comments have been submitted prior to **Friday, July 22nd, 2022 at 4pm**. The comments will instead be read into the public record during the meeting. While residents are encouraged to make written submissions to the committee, members of the public will also be able to provide verbal comments at Committee of Adjustment through Zoom. Please contact Planner II Madyson Etzl metzl@westlincoln.ca or **905-957-5131 by 12pm on July 27th, 2022** to speak at the meeting and you will be provided access to the meeting. Please state the date of the meeting and the file number you wish to address. If you are not able to access ZOOM through a computer, there is an option to call into the meeting through phone numbers and a code provided. If you wish to participate and cannot access the meeting through Zoom through a computer or by calling in, please notify the Secretary-Treasurer and all efforts will be made to accommodate your needs.

Any written comments received with regard to this application will constitute part of the public record for this particular file, in accordance with the Planning Act.

Important information about making a submission:

If a person or public body that files an appeal of a decision of the Committee of Adjustment in respect of the proposed minor variance does not make written submissions to the Committee of Adjustment before it gives or refuses the minor variance application, the Ontario Land Tribunal may dismiss the appeal.

For more information:

Planning documents and background material for any application is available during regular office hours by contacting the planning department at 905-957-3346 or planning@westlincoln.ca and making an appointment.

Copies of the Staff Report will be available on Monday, July 25th, 2022, after 4 PM.

If you wish to be notified of the decision of the Committee of Adjustment in respect of the proposed minor variance, you must make a written request to:

Madyson Etzl, Planner II

Township of West Lincoln, 318 Canborough Street, Smithville, ON L0R 2A0

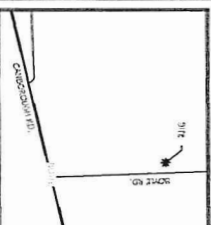
metzl@westlincoln.ca



1333 HIGHWAY #3
DUNNVILLE, ONTARIO
N1A 2W7
phone: (905) 774-4307

THE DRAWINGS AND SPECIFICATIONS
ARE THE PROPERTY OF THE ENGINEER
TO BE USED ONLY FOR THE PROJECT
FOR WHICH THEY WERE ISSUED.

CS-15-041 2022



SCHEDULE FOR PERMIT		2	1	1	
NO.	DATE	BY	NO.	DATE	BY
1	MAR. 24/23	MD	2	MAR. 24/23	MD
3	MAR. 24/23	MD	4	MAR. 24/23	MD

JASON BEAMER
BASIC SITE PLAN

1116 BOYLE RD.
WELLANDPORT, ON.
L0S 1C0

BASIC SITE PLAN

Scale: As indicated

B23-20-153

DATE: MAR-30-22

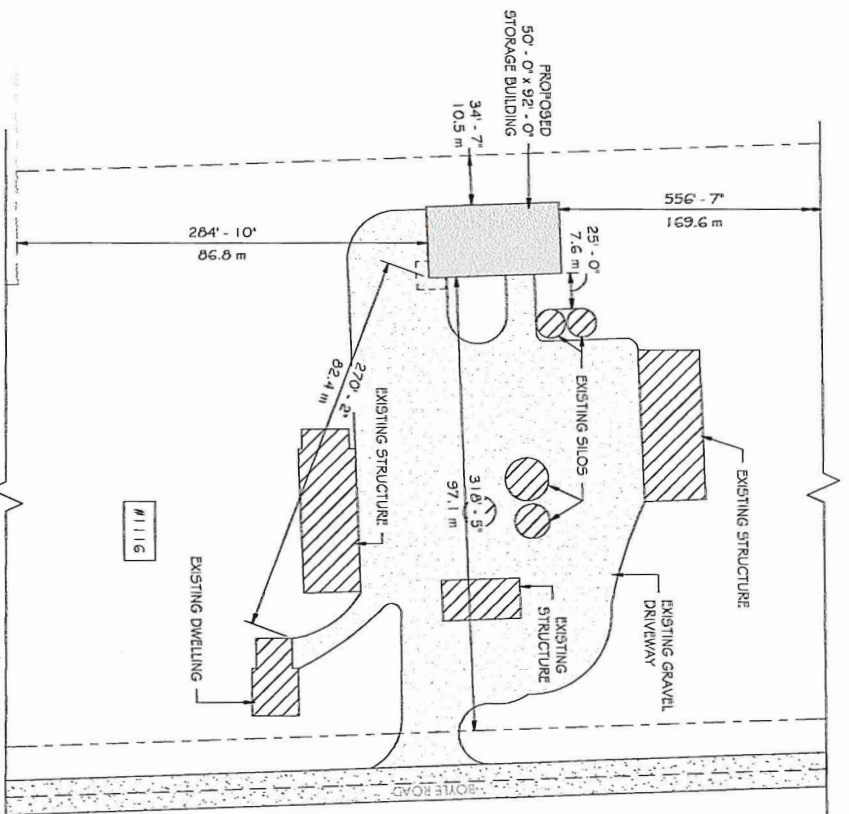
DRAWN BY: J.M. DYKSTRA

CHECKED BY: J.M. DYKSTRA

C-1

SHEET 1 OF 1

2 BASIC SITE PLAN
1" = 60'-0"



1116 BOYLE RD. - WELLANDPORT, ON.	
LOT AREA	13.7 ACRES
ZONING	A - AGRICULTURE
ROLL NUMBER	2602-020-006-09100
ZONE PROVISIONS	A - AGRICULTURE PROPOSED
MIN. SIDE YARD	3.0 m
MIN. FRONT YARD	13.0 m
MIN. REAR YARD	7.5 m
MAX. BUILDING HEIGHT	11.0 m
BLDG FOOTPRINT	427.9m ² (4599.4 ft ²)

IDENTIFIED USING THE WEST LINCOLN ZONING BY-LAW
NO.2017-70 (Table 1-1)



AERIAL VIEW
1" = 100'-0"

