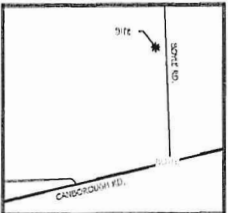




1333 HIGHWAY #3
DUNNVILLE, ONTARIO
N1A 2W7
phone: (905) 774-4307

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ISSUED FOR PERMIT	2	MAR. 31/22	DB
ISSUED FOR REVIEW	1	MAR. 24/23	NO
PRINTS	NO.	DATE	BY
ISSUED/REVISIONS			

JASON BEAMER

BASIC SITE PLAN

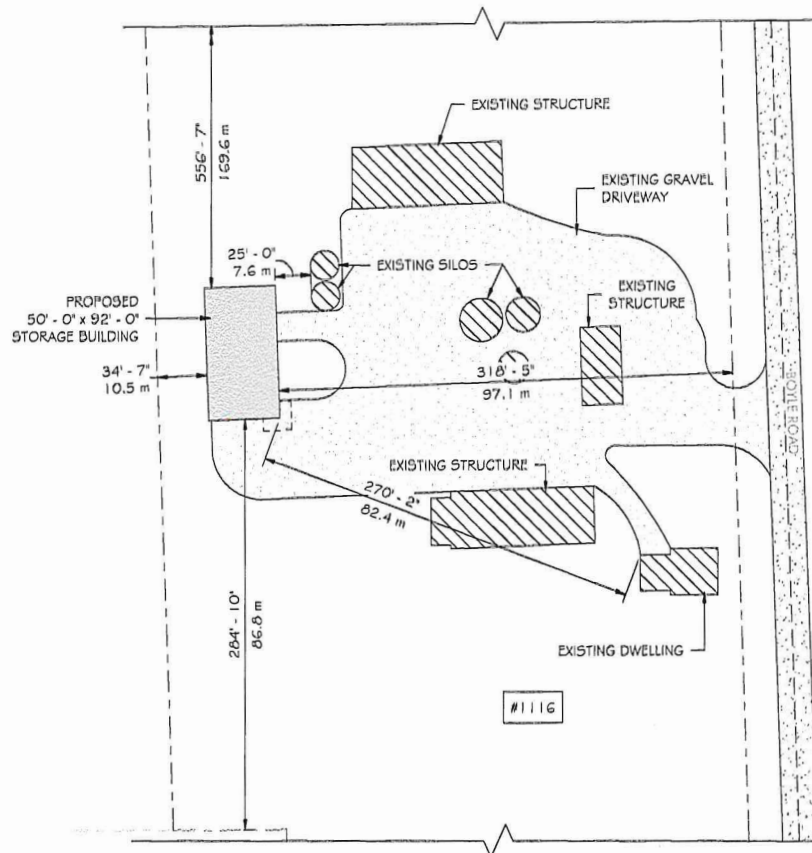
1116 BOYLE RD.
WELLANDPORT, ON.
L0S 1C0

DRAWING
BASIC SITE PLAN

SCALE
As indicated B23-20-153

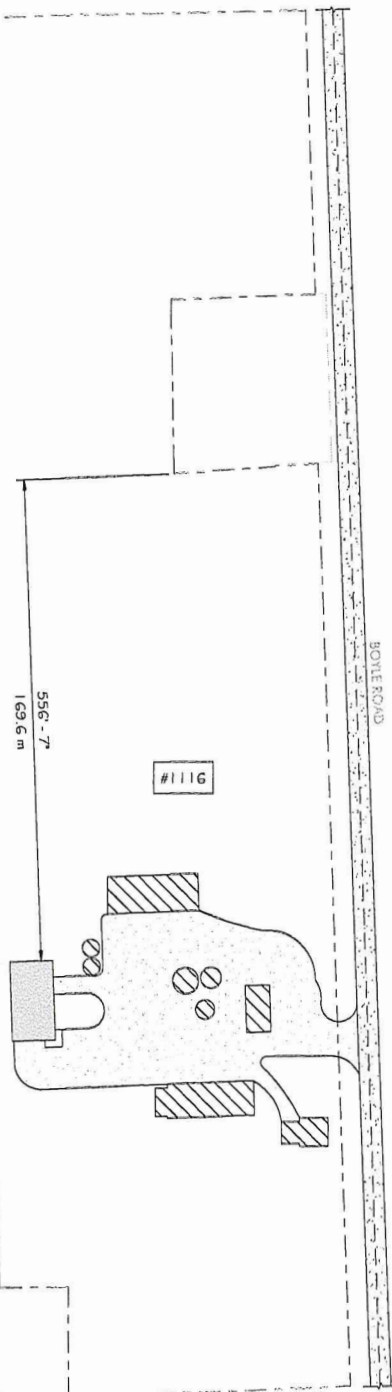
DRAWING FILE
C:\Users\jbeamer\OneDrive\Documents\Projects\1116 Boyle Rd\1116 Boyle Rd.dwg

DRAWN BY W. DYKSTRA	DRAWING NUMBER C-1
DATE MAR-30-22	
SHEET 1 OF 1	



2 BASIC SITE PLAN
1 1" = 60'-0"

1116 BOYLE RD. - WELLANDPORT, ON.	
LOT AREA	13.7 ACRES
ZONING	A - AGRICULTURE
ROLL NUMBER	2602-020-006-09100
ZONE PROVISIONS	A - AGRICULTURE PROPOSED
MIN. SIDE YARD	3.0 m 86.8 m
MIN. FRONT YARD	13.0 m 97.1 m
MIN. REAR YARD	7.5 m 10.5 m
MAX. BUILDING HEIGHT	11.0 m 8.0 m
BLDG FOOTPRINT	427.3m ² (4599.4 ft ²)
IDENTIFIED USING THE WEST LINCOLN ZONING BY-LAW NO.2017-70 (Table 1-1)	



1 AERIAL VIEW
1" = 100'-0"